



UNITED STATES MARINE CORPS
MARINE CORPS BASE
CAMP LEJEUNE, NORTH CAROLINA 28542

IN REPLY REFER TO

FAC/JTM/hf
5420/3
SEP 1982

From: Chairman, Environmental Enhancement/Environmental Impact Review Board
To: Commanding General, Marine Corps Base

Subj: Minutes of the Environmental Enhancement/Environmental Impact Review Board

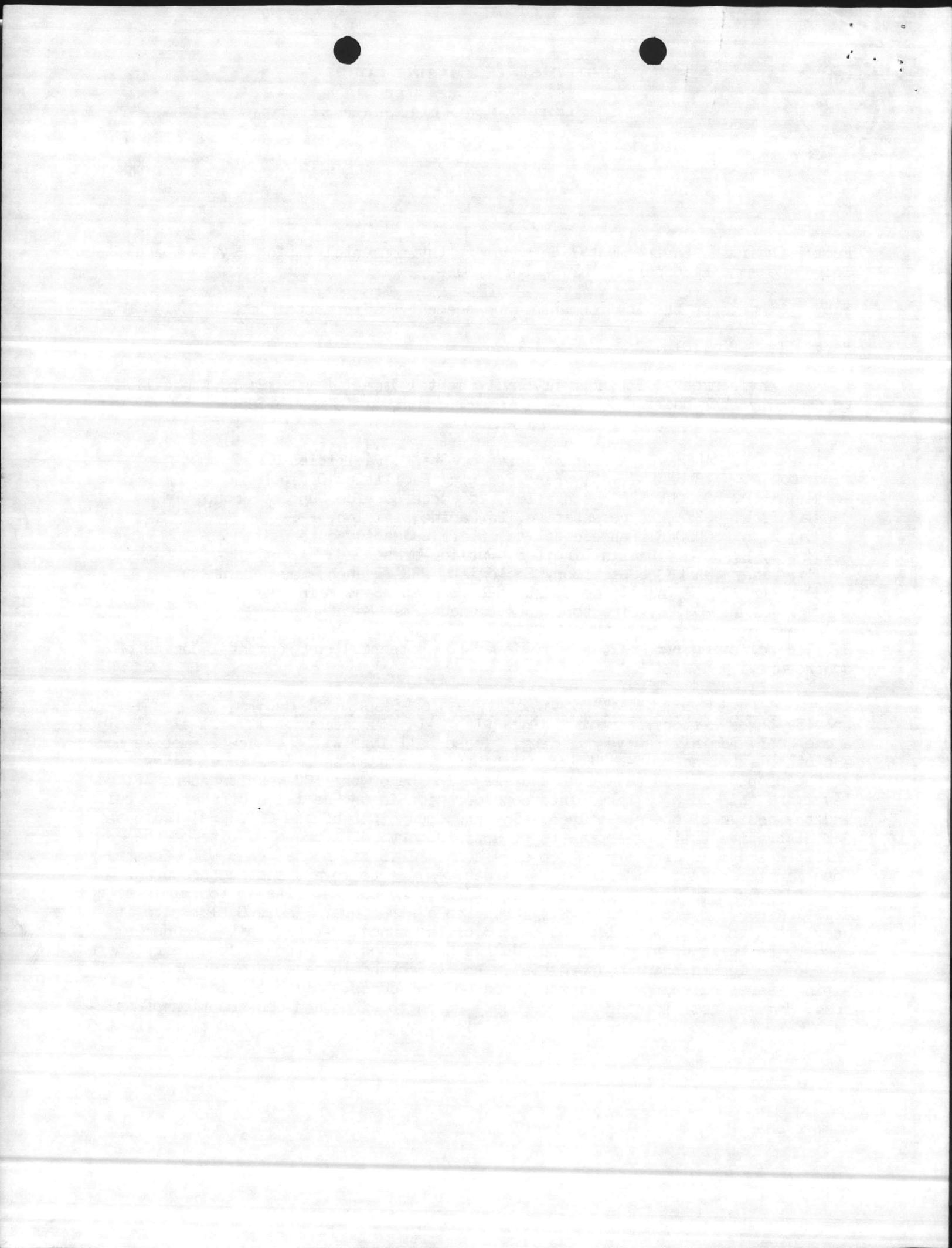
Ref: (a) BO 11015.2G

1. The Environmental Enhancement/Environmental Impact Review Board was called to order by the Chairman, Colonel J. T. MARSHALL, at 0930, 15 September 1982 with the following personnel in attendance.

Col J. T. MARSHALL, Assistant Chief of Staff, Facilities
LtCol A. R. BRUNELLI, JR., Base Training Facilities Officer
Maj R. D. BOURQUE, Representative, 2d Force Service Support Group, FMF
Maj T. W. HOYSA, Representative, 2d Marine Division, FMF
Maj L. L. SCUDDER, Representative, Staff Judge Advocate
Mr. E. L. ROUSE, Design Director, Public Works
Mr. Danny SHARPE, Supervisory Ecologist, NREA Branch, Base Maintenance
Mr. Tim STAMPS, Asst. Ecologist, NREA Branch, Base Maintenance
Mr. Julian WOOTEN, Director, NREA Branch, Base Maintenance

2. The following projects were reviewed for potential environmental damage or controversy.

a. P-775, Recreational Lodge/Motel, Onslow Beach Area (MCB): The project will provide three 2-story frame buildings with pile foundations. It will also include a one-story Administrative building. These buildings will replace 23 mobile homes and other substandard facilities which have been used as recreational sites. All of the proposed sites have a ground elevation below the 100-year frequency flood level and this must be taken into consideration in the decision of where to build and the design of the structures. The proposed sites of the Officers' Lodge and Administrative Building appear to be satisfactory. The proposed site of the Enlisted Lodge is directly on top of a dune. This is inconsistent with Coastal Zone Management Act guidelines. Alternatives are to move the structure up or down the beach or back from the water. Also, the current site is too close to the existing road; there is no working area for a structure. The NCO Club site is near where trailers were located on top of the dunes. At this site the dunes need to be built up as most of the damage has already occurred. It appears there is room to locate there. The decision to design should take into account the siting issues raised; i.e., destruction of sand dunes, possible relocation of the road, damage from flooding and hurricane-strength winds and construction of walkways over the dunes to the beach. Additionally, a fence would need to be erected



from the high water mark to the road to restrict access into the impact area. The facilities should be sited so that occupants would not be mixed in with the Recon facility. The Chairman directed that the project be returned for review of siting. The Preliminary Environmental Assessment (PEA) already prepared would be applicable as long as the site is within the general area of the original siting, but if it is moved north or south of the development limits it would need review.

b. P-823, Handball/Racquetball Courts, Camp Johnson and Courthouse Bay (MCB): This project will consist of two-court handball/racquetball facilities at Camp Johnson and Courthouse Bay. Both sites for the proposed facilities are consistent with the Master Plan and are already developed with recreational facilities. The Board agreed there appears to be no significant environmental impact or controversy.

c. P-298, Physical Fitness Facility, Central Hadnot Point (MCB): This project is for the construction of a one-story physical fitness center located on a developed site near Goettge Memorial Field. The Board agreed there appears to be no significant environmental impact or controversy.

d. P-820, Renovate Enlisted Club, Building 62 (MCB): This project will add an additional 1,425 square feet of space to the existing Enlisted Club at Hadnot Point. The area is flat terrain and is landscaped with lawn and trees. The Board agreed there is no significant environmental impact or controversy.

e. P-466, NCO/Enlisted Club, Camp Geiger (MCB): This project will add a 50' x 70' addition to the present club. The structure will be one-story metal and brick with reinforced concrete floor and foundation. No protected resources occur on the site and there are no critical areas subject to severe erosion. The Board agreed there is no significant adverse environmental impact or controversy.

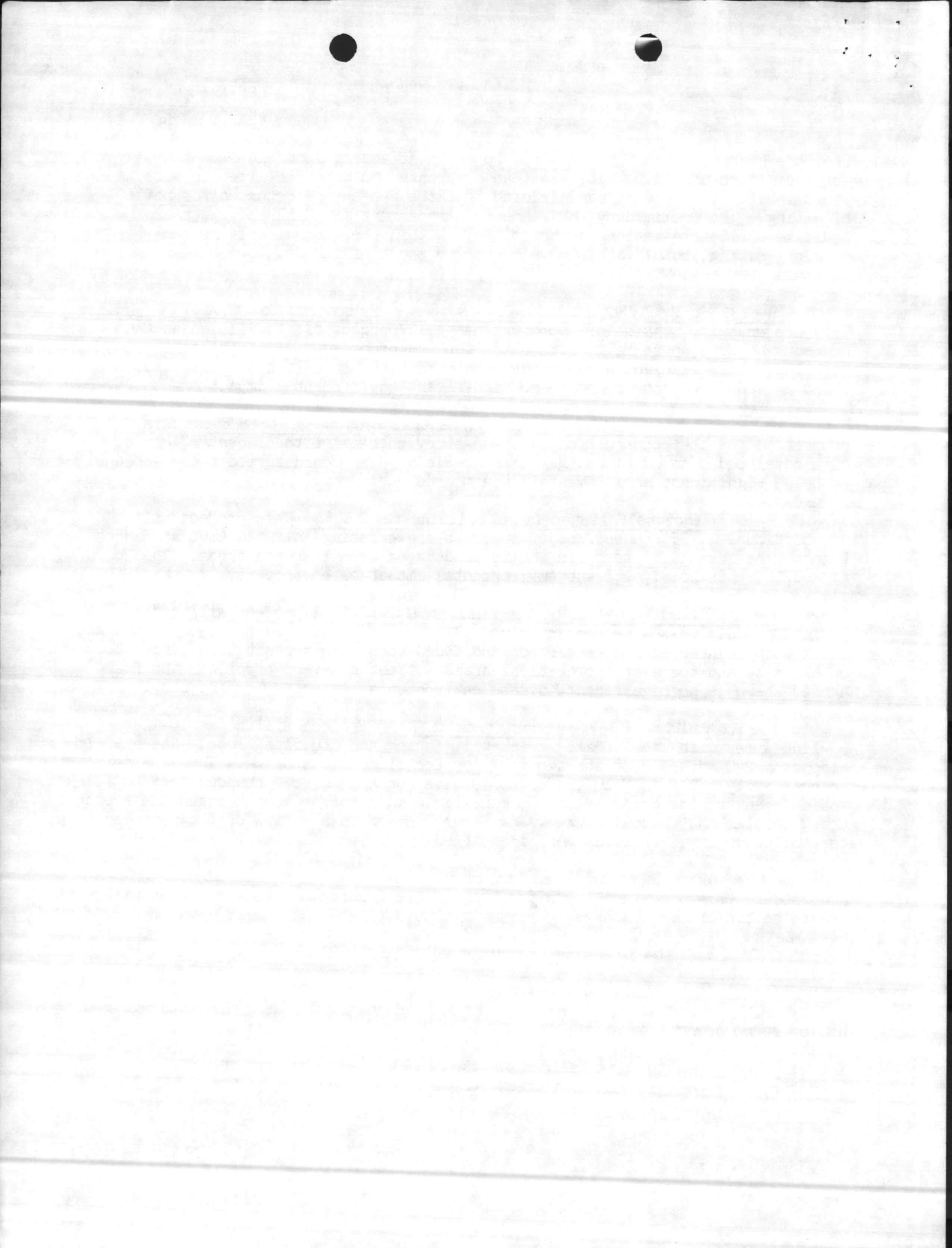
f. P-259, Bowling Alley, French Creek (MCB): Project will be an 18-lane Bowling Alley with steel frame, brick wall facing and concrete floor. There will also be a 240 square foot storage facility for flammable storage. The site is approximately 600 feet from the proposed site for the 2d FSSG Headquarters building and adjacent to the proposed main parade field in a buffer zone between the French Creek complex and Cogdell's Creek/New River. Based on a review of the proposed site, the following considerations were identified:

(1) There does not appear to be sufficient suitable land at the site to accommodate this size facility without extensive grading and filling which will create severe erosion hazards.

(2) The site is somewhat remote relative to other morale and support facilities.

(3) Use of the proposed site is not fully compatible with the proposed use of surrounding area as the 2d FSSG Headquarters and main parade field.

(4) Area of suitable land is scarce relative to amount of future construction planned in the French Creek complex.

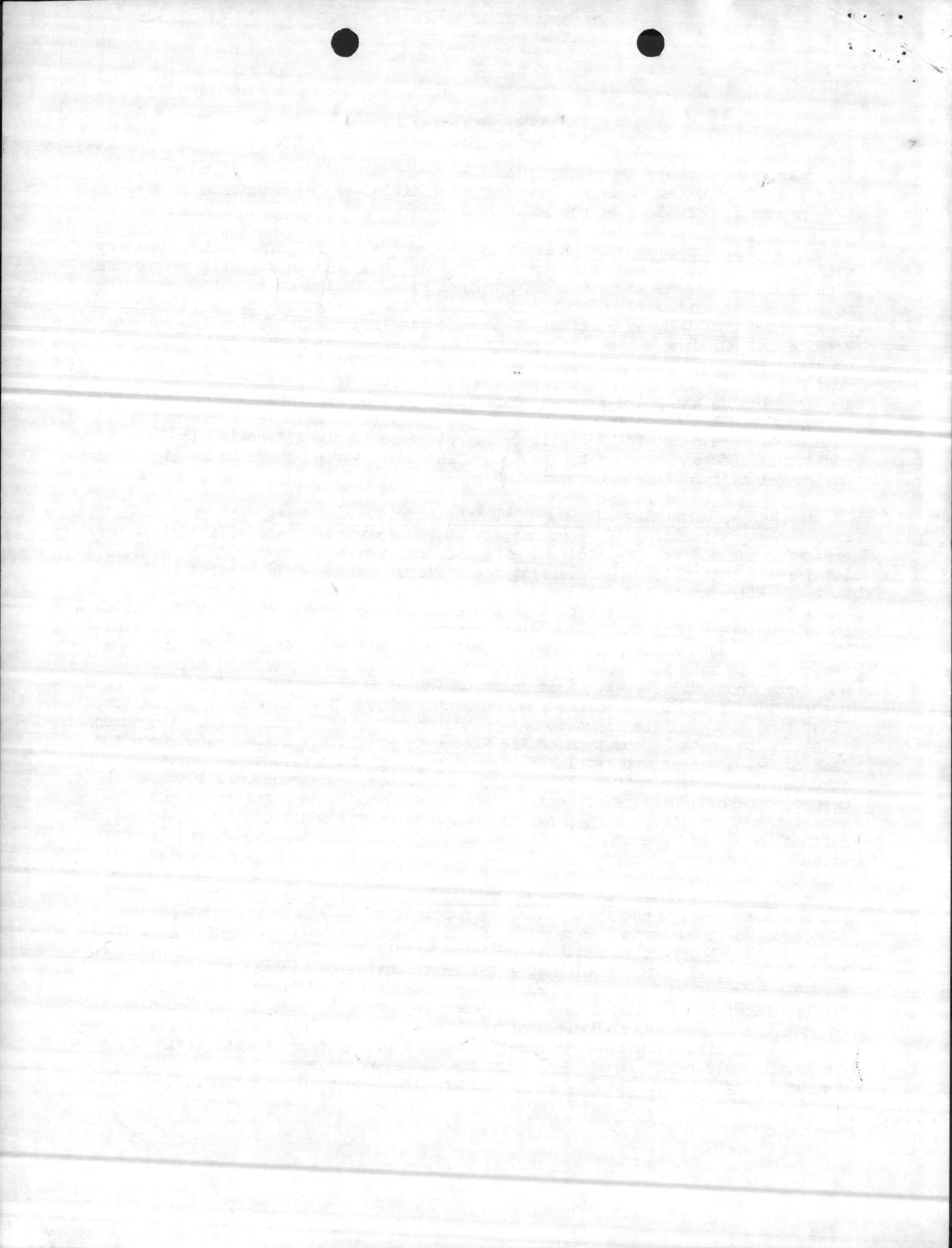


The Board agreed there is no significant environmental impact or controversy with this project, however, they recommended alternate sites be considered in view of the information provided by the PEA.

g. P-815, Montford Point Area Enlisted Club (MCB): Building will be masonry with brick veneer. Clearing of timber, drainage and landscaping will be provided. Site is densely forested on a poorly drained site. Soil wetness offers moderate to severe restraints against building construction. Existing access is either by a dirt road that becomes partially flooded during heavy rains or by the parking area behind Building M-128. It appears that development of this site will require construction of a drainage system and access road. Due to the absence of paved road and soil wetness, consideration should be given to relocation. The area beside the guard station on the east side of Montford Landing Road appears to be more suitable and is nearer to proposed new barracks. This site had previously been considered. Should the facility be relocated to the alternate site, no additional assessment would be required. The Board agreed there is no significant environmental impact or controversy.

h. P-773, Hobby Shop Complex, Central Hadnot Point (MCB): This project consists of a two-story building of approximately 40,000 square feet and will include work areas for automotive, ceramics and arts and crafts hobbyists. Proposed site is a level field between the Hadnot Point Steam Plant, the baseball stadium and W. P. T. Hill Parade and Drill Field. The only vehicle access is by an unimproved trail from Gum Street that parallels the coal storage area. Site location appears to be consistent with the Master Plan, however, there is concern about the visibility of an Auto Hobby Shop close to the Parade and Drill Field. Planning and design should take into consideration the need to obscure deadlined automobiles and parts from public view. Road construction will be required. There will be a problem with coal dust even though precipitators have been installed at the Steam Plant, and if this site is used, design and construction costs will be increased by having to install some type of air filters. Wastes may be generated from the Base Hobby Shop that are regulated by environmental regulations. Submittal of an erosion control plan will be required as proposed construction will very likely expose more than one acre of soil. There appears to be no significant environmental impact or controversy provided the planning and construction considerations defined in the PEA are adhered to; however, the Chairman directed that alternate sites be considered.

i. MCB Rifle Range "C" Range Expansion Project (2d MarDiv): The proposed project will involve modifying existing portions of "C" Range from the present 600 yards to 1,000 yards. Expansion of this range will eliminate having to send personnel TAD to MCDEC, Quantico, for Scout/Sniper School training. The 2d Marine Division proposal would require some timber to be cut on a small scale; specifications would need to be detailed regarding clearing the area and leaving stumps for practice; the fan would have to be kept as narrow as possible to avoid having to move the Range Control House; another range tower would have to be built; construction of either berms or a raised bridge on pilings; and during training, personnel would be required to abandon the Range Control House and Ammo bunkers during firing. LtCol BRUNELLI suggested an alternate plan of expanding down-range



from the Butts instead of up-range and keep present lines in place. This would require only a small access road and some targets that could be moved and would avoid the constraints involved in the original proposal. The item was tabled pending coordination between Base Training, Natural Resources and Environmental Affairs Branch and 2d Marine Division representatives as to the feasibility of the second proposal.

j. Bulk Fuel Storage in LZ Goose (2d FSSG): Project would involve bulk fuel storage of 10,000 gallons of fuel at LZ Goose in support of a training exercise 19-25 September. Two 20,000 gallon collapsible fuel bladders would be used for storage, with one being used as back-up. Bladders will be bermed using soil at the site. No trees will have to be cut. Project was approved as having no significant adverse environmental impact or controversy provided the bermed soil is again leveled following the exercise and the Fire Department is informed of what is stored there and the dates.

- Members will be provided abbreviated reports of projects to be reviewed prior to Board meetings when possible.
- The meeting adjourned at 1050. The next meeting will be convened at the call of the Chairman.

J. T. Marshall
J. T. MARSHALL

FIRST ENDORSEMENT

From: Commanding General
To: Chairman, Environmental Enhancement/Environmental Impact Review Board
Subj: Minutes of the Environmental Enhancement/Environmental Impact Review Board

- Returned, contents noted.

D. J. Fulham
D. J. FULHAM

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400	See A
EGJ	✓
Ym	✓
Bzd	gd

NOTE: P. 775,
P. 259, P. 815
x773

- Copy to:
- Rep, 2d MarDiv, FMF (G-4)
 - Rep, 2d FSSG, FMF (G-4)
 - BTrngFacO
 - Rep, MCAS(H), NR (S-4)
 - BMaintO
 - PWO





PUBLIC WORKS DIVISION
BUILDING 1005, MARINE CORPS BASE
CAMP LEJEUNE, NORTH CAROLINA 28542

In reply refer to:

PWO:408:VM:mkt
11000
NOV 29 1982

From: Public Works Officer
To: Assistant Chief of Staff/Facilities
Subj: Minutes of the Environmental Enhancement/Environmental Impact Review
Board of 22 Sep 1982
Ref: (a) AC/S FAC ltr FAC/JTM/hf 5420/3 of 22 Sep 82
Encl: (1) P-259 proposed Site Location

1. The reference provided comments on Non-Appropriated Fund (NAF) Troop and Training projects through the Camp Lejeune complex. Various questions were raised concerning siting, environmental constraints and miscellaneous suggestions that should be considered during the design process.

2. The following information is provided on pertinent projects as questioned in the reference.

a. P-775, Recreational Lodge/Motel, Onslow Beach Area: Prior to project site selection, an on-site visit was made by Mr. V. Marshburn (PubWks) and Mr. D. Sharp (NREA) to discuss project site constraints. Siting, as submitted to and approved by CMC was originally agreed to by Mr. Sharp. During this meeting, items such as walkways over the dunes was discussed and will be incorporated in the project design. Signs restricting access into impact area will be incorporated in the project design.

It is therefore considered that all environmental constraints have been considered and initial site selection is valid.

b. P-259, Bowling Alley, French Creek: A new site location has been selected with acknowledgment by Major Borque (FAC Officer, EngSupO, 2nd FSSG) and is provided by the enclosure. Request concurrence prior to submission to CMC (LFF-1).

c. P-815, Montford Point Area Enlisted Club: This project is currently under design and will provide necessary site drainage. Further, new pavement will be provided for access to this facility.

d. P-773, Hobby Shop Complex, Central Hadnot Point Area: Problems addressed in the reference are normally discussed with the Architect/Engineer (A/E) firm that is to accomplish the design. Any required environmental reports, plans, etc. are the responsibility of the A/E firm. The existing site was discussed with Mr. Fox (Special Svcs), and it was agreed that the existing site selection is the best for all concerned.

R. E. CARLSON

NOV 23 1983



UNITED STATES MARINE CORPS
MARINE CORPS BASE
CAMP LEJEUNE, NORTH CAROLINA 28542

P-775

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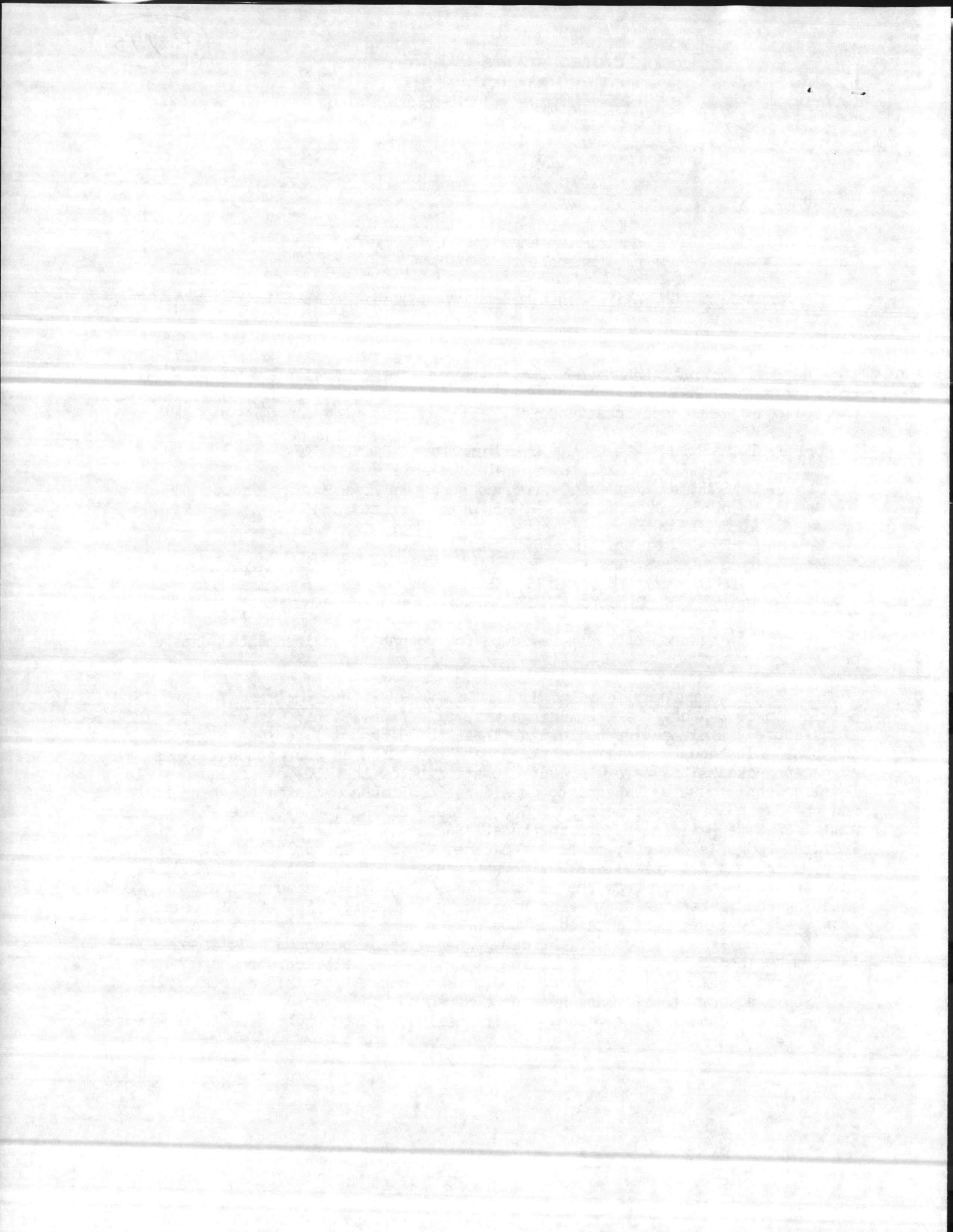
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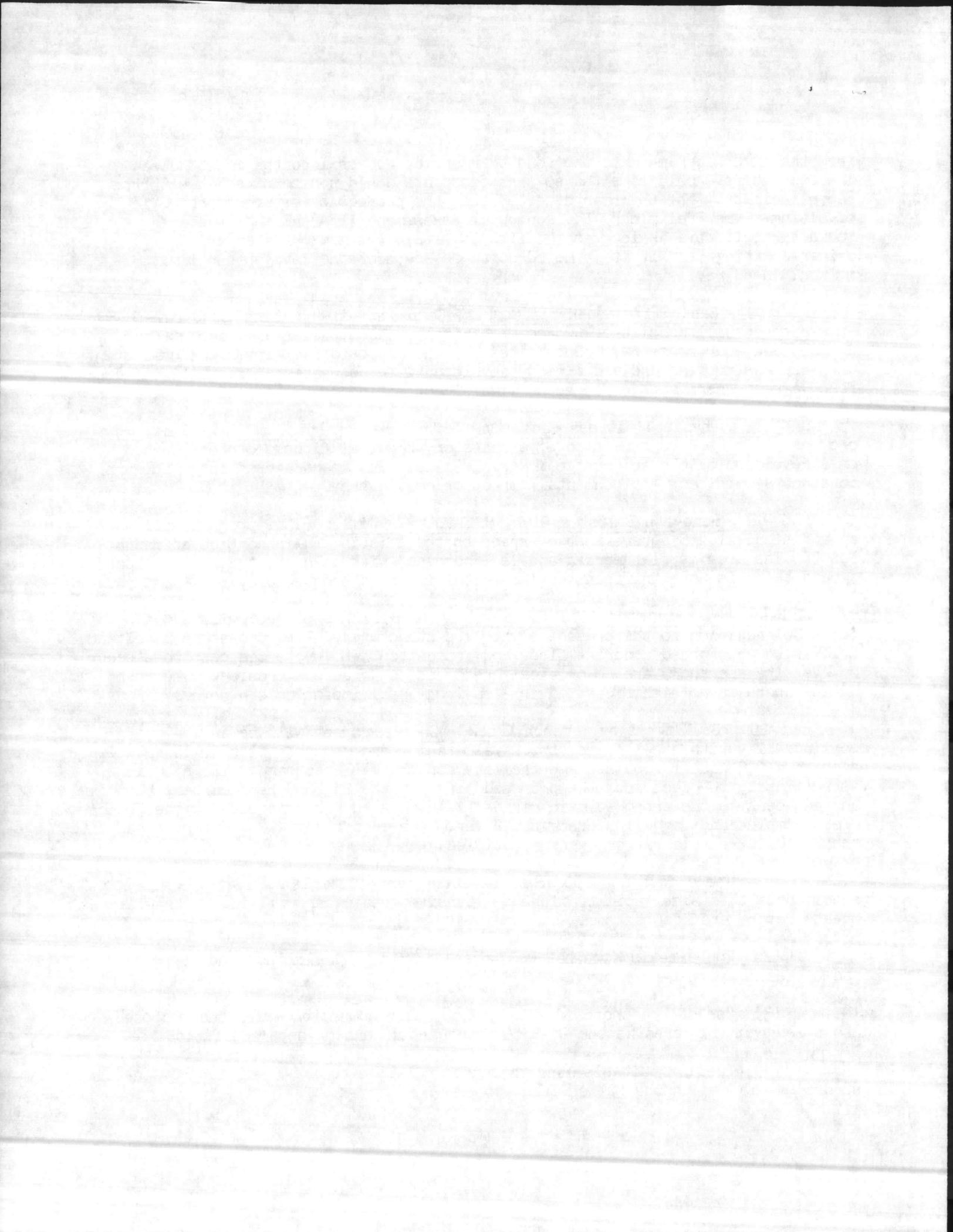
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To: Chairman, Environmental Enhancement/Environmental Impact Review Board
Subj: Minutes of the Environmental Enhancement/Environmental Impact Review Board

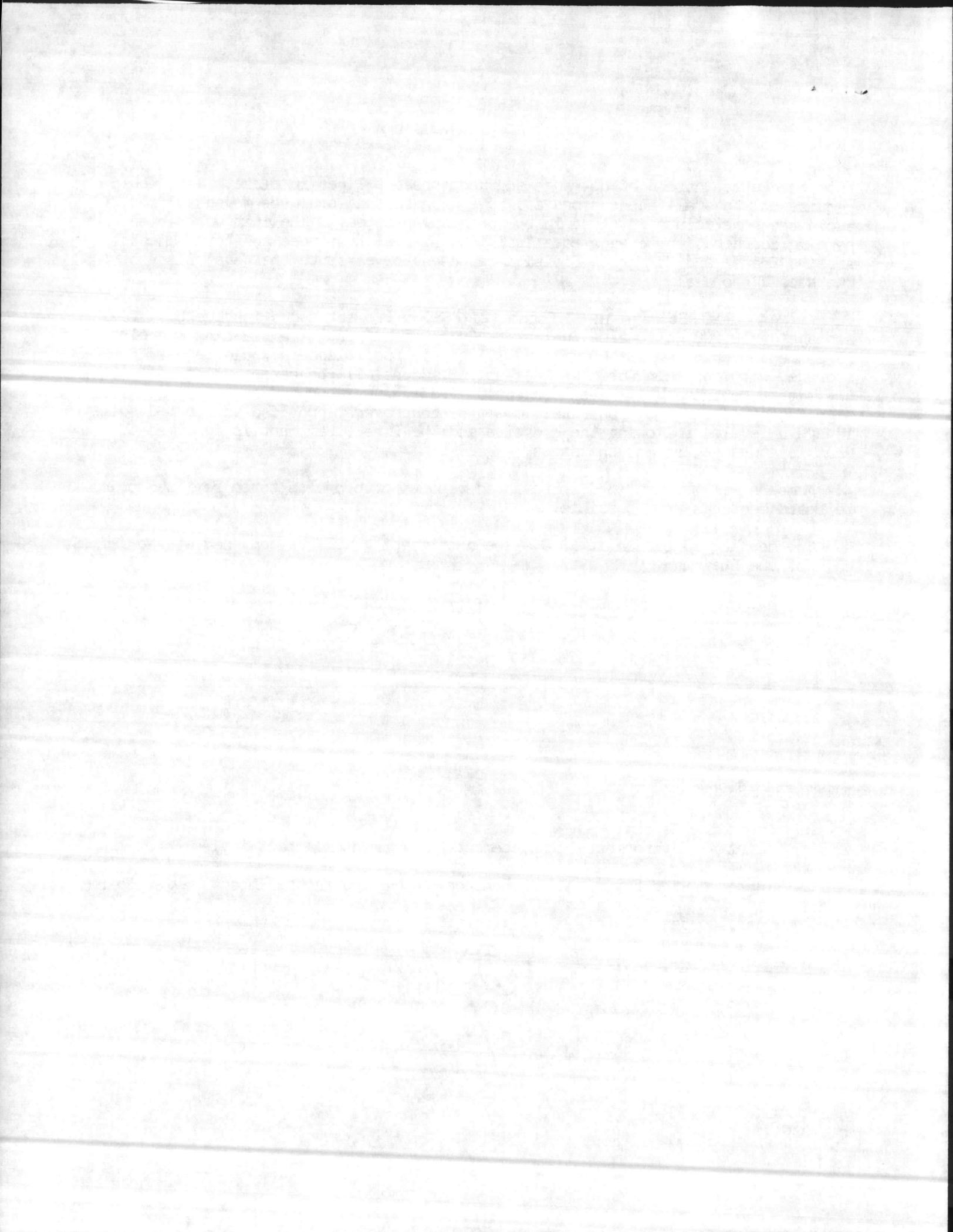
1. Returned, contents noted.

D. J. Fulham
D. J. FULHAM

10	✓
00	EM
400	See A
EGJ	✓
Ym	✓
Bjd	✓

NOTE: P-775,
P-259, P-815
+773

Copy to:
Rep, 2d MarDiv, FMF (G-4)
Rep, 2d FSSG, FMF (G-4)
BTrngFacO
Rep, MCAS(H), NR (S-4)
BMaintO
PWO





PUBLIC WORKS DIVISION
BUILDING 1005, MARINE CORPS BASE
CAMP LEJEUNE, NORTH CAROLINA 28542

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To: Assistant Chief of Staff/Facilities

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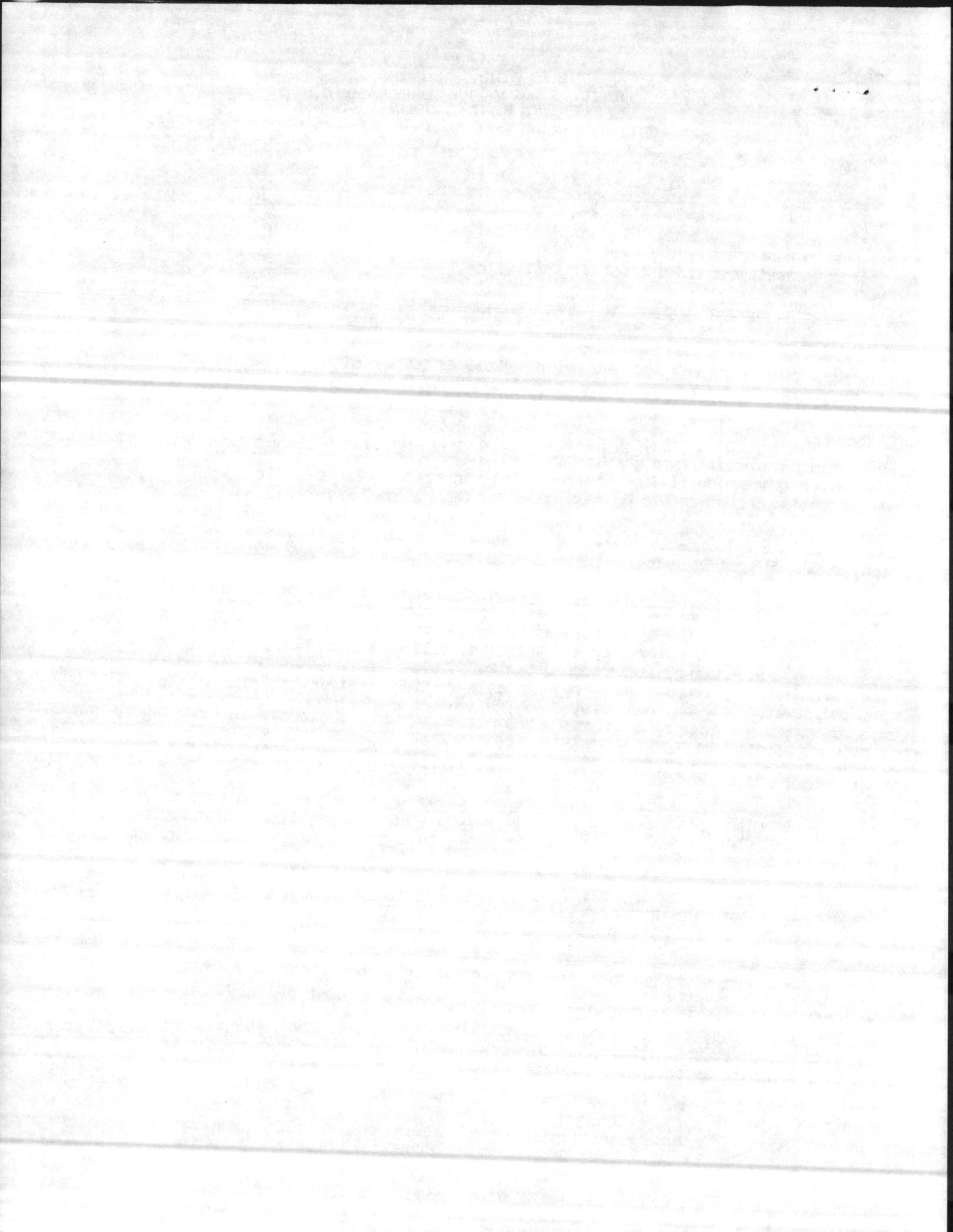
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R. E. CARLSON



EIA folder

UNITED STATES MARINE CORPS
Marine Corps Base
Camp Lejeune, North Carolina 28542

ENVIRONMENTAL IMPACT/ENVIRONMENTAL ENHANCEMENT REVIEW BOARD: MEETING OF

15 September 1982 (Reviewed by the Chairman)

ADDENDUM TO PRELIMINARY ENVIRONMENTAL ASSESSMENT (PEA)

SUBJ: P-775, Recreational Lodge/Motel, Onslow Beach Area

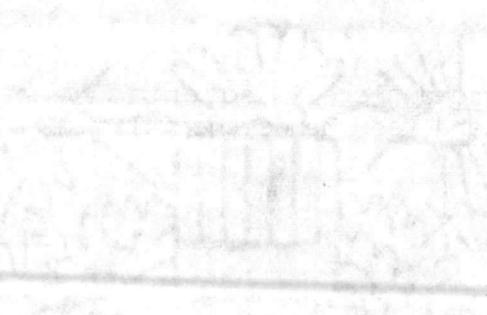
BOARD ACTION

_____ The Board agreed there appears to be no significant environmental impact or controversy associated with this project.

XX _____ The Board agreed there appears to be no significant environmental impact or controversy associated with this project provided:

- (1) The site for the Enlisted Lodge is relocated to avoid conflict with the dunes.
- (2) Facilities should be located so they are not in close proximity to the Reconnaissance Battalion.
- (3) Walkways will probably be required to avoid damage to dunes.

_____ The Board agreed there is potential environmental impact with the project and recommends the following:



BASE MAINTENANCE DIVISION
Marine Corps Base
Camp Lejeune, North Carolina 28542

MAIN/DDS/jik
16675

SEP 6 1982

From: Base Maintenance Officer
To: Assistant Chief of Staff, Facilities
Subj: Preliminary Environmental Assessment for Recreational Lodge/Motel
Onslow Beach Area, (P-775)
Ref: (a) AC/S Fac memo FAC/JFG/ed 6280 of 18 Jun 1982
Encl: (1) PEA for Recreational Lodge/Motel Onslow Beach Area, (P-775)
1. In accordance with the reference, the enclosure has been compiled
and is submitted for your review/action.

R. F. CALTA

SEP 1 1932

PRELIMINARY ENVIRONMENTAL ASSESSMENT

for

RECREATIONAL LODGE/MOTEL ONSLOW BEACH AREA

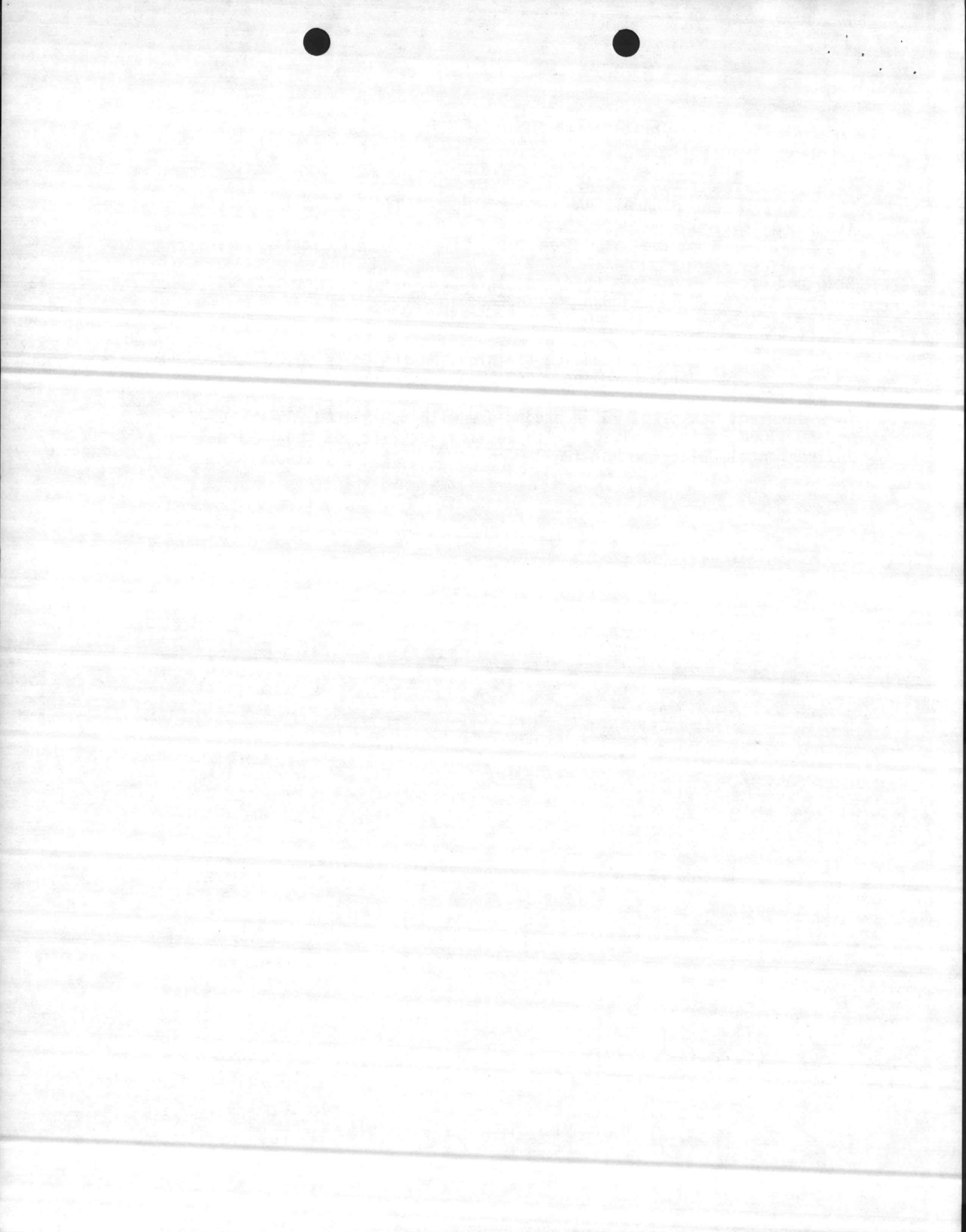
Action Sponsor: Marine Corps Base, Camp Lejeune (Non Appropriated Funds)

Prepared By: Assistant Chief of Staff, Facilities, Marine Corps Base,
Camp Lejeune, North Carolina 28542

Compiled By: Director, Natural Resources and Environmental Affairs Branch,
Base Maintenance Division, Marine Corps Base, Camp Lejeune,
North Carolina 28542

This document was prepared in accordance with MCO P11000.8A, MCO 6280.5
and BO 11000.1A in compliance with Section 102(2)(c) of the National
Environmental Policy Act of 1969.

ENCLOSURE (1)



1. Action/Project Description.

a. Project Description. The project will provide three two-story frame buildings, wood siding, pile foundations, bedroom units with bathroom, kitchenette and lounge area. Also, a one-story frame Administrative Building will be provided. The facility will replace 23 mobile home units and other substandard facilities which have been utilized as recreational lodges. Attachment (1) provides detail and site locations.

b. Project Purpose. Proposed facility will provide adequate recreational lodge/motel facilities to replace mobile home trailers. Note: Several of the trailers have already been removed due to condition. The administrative building will support all three lodges. If not provided, personnel morale will continue to suffer due to lack of adequate recreational facilities. Access to private/public beaches in the area is poor. This is a problem specifically identified in local land use plans generated under the Coastal Zone Management Act.

c. Site Description. The proposed facilities will be constructed at four sites all of which are located within the currently developed area of Onslow Beach.

(1) Site A. A lodge (24 units) for Officer personnel will be constructed here. This site is immediately northeast of BA186, 187, 188, and 189. The site is an existing clearing with herbaceous vegetation. The ground elevation is below the 100 year flood level. However, no wetlands are involved. There are no sand dunes in the immediate area. Few shrubs or trees would require clearing if care was taken in locating the structure.

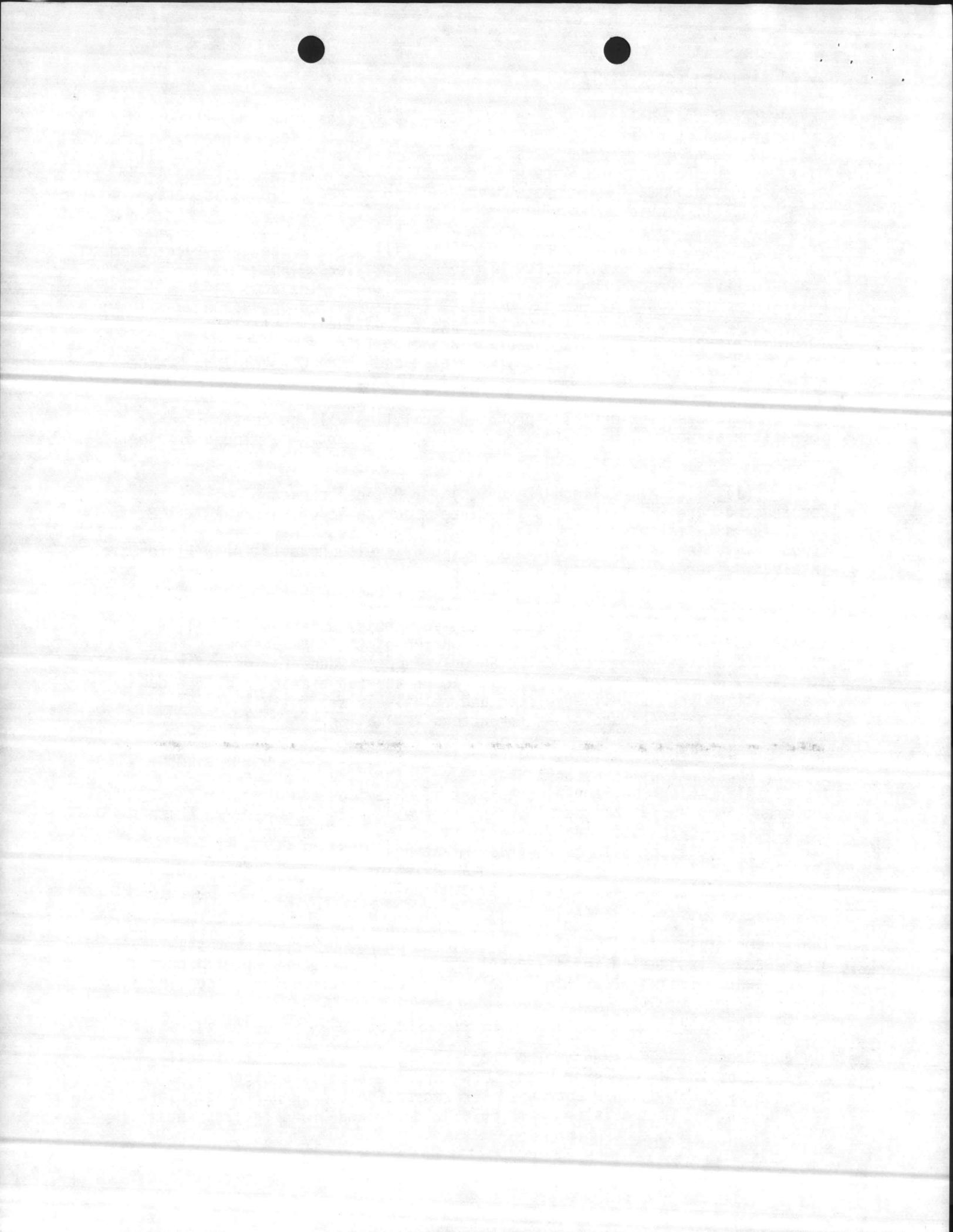
(2) Site B. A lodge (28 units) for Enlisted personnel will be constructed here. The site is located on top of the dune system. There is not sufficient distance between Ocean Drive and the dune to accommodate the structure. Proposed construction will lower the top elevation of the dune. The existing dune is well developed and relatively well stabilized with beach grass, sea oats and other herbaceous vegetation.

(3) Site C. A lodge (24 units) for Staff and Non Commissioned Officer personnel will be constructed here. The site is located immediately behind the frontal dune system. Previous construction in the area has reduced the top elevation of the dune to an elevation which appears to be below 100 year frequency flood level. The dune has been partially stabilized with beach grass plantings. The location of the structures will be behind the dune in an existing graveled parking lot. Adequate working room appears readily available.

(4) Site D. An administrative building will be constructed here. The area contains roads, mobile home trailers and other improvements. The area was leveled during initial development. No sand dunes or wetlands are present. Ground elevation is below the 100 year frequency flood level.

2. Consideration of Alternatives and Site Selection.

a. Scope of Assessment. The proposed facilities were not directly addressed by the Base Master Plan. However, the area is designated as personnel support and has been used for recreation and/or Barracks. The proposed action is consistent with Base land use and broad environmental



and natural resource management objectives. There is potential for conflict with state and local Coastal Zone Management land use plans. The purpose of this assessment is to:

1. Determine the potential impact on the environment.
2. Evaluate consistency of the proposed action with State and Local Coastal Management Programs and land use plans.
3. Determine if submittal of an environmental assessment (EA) for review by Headquarters Marine Corps Environmental Impact Review Board is required per MCO 6280.5.
4. Identify means and measures required to prevent, correct or mitigate adverse impact relative to requirements listed in attachment (2).

b. Site Selection. This assessment is based on the following assumptions:

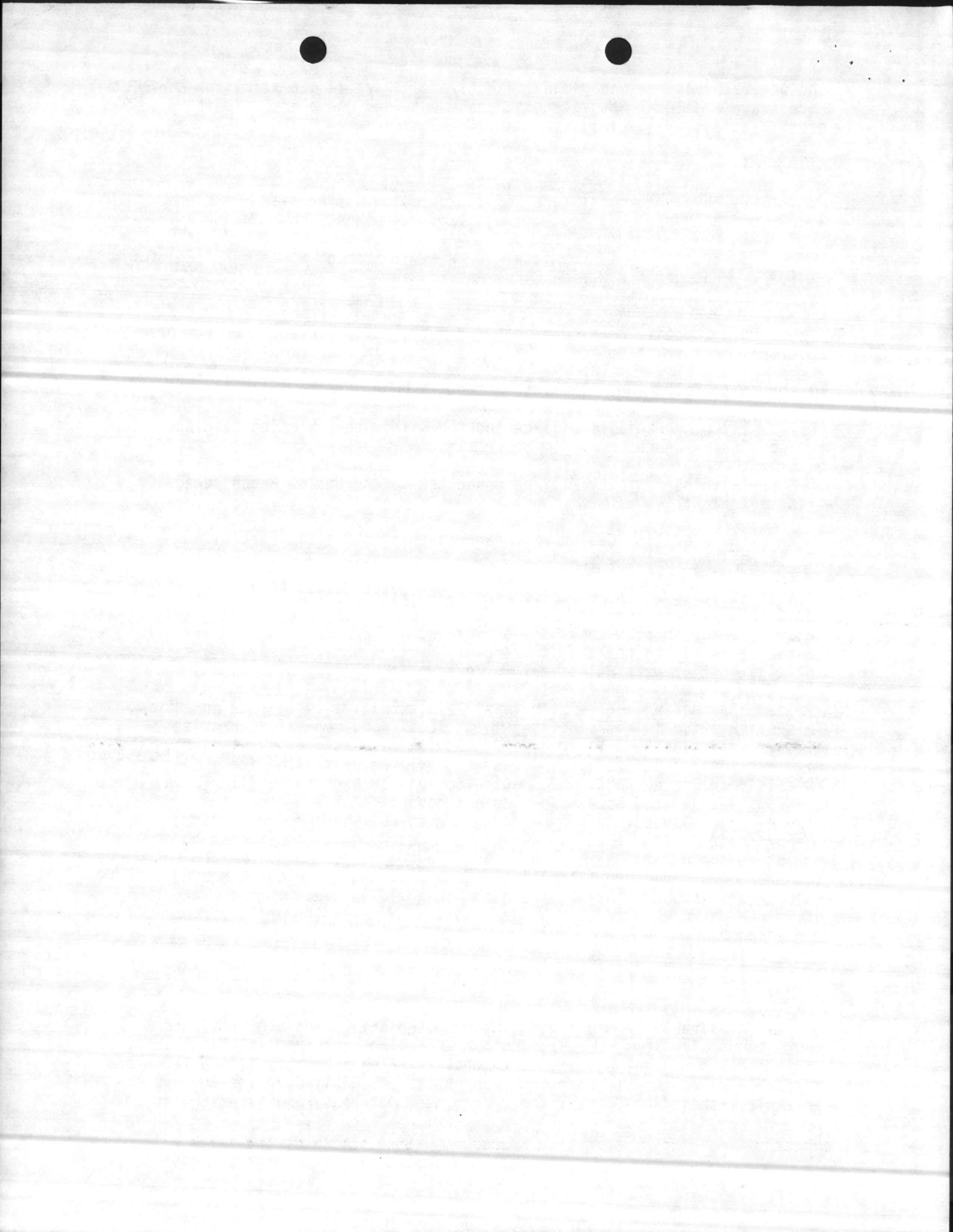
- (1) The Facility will be located within the existing developed area of Onslow Beach.
- (2) The facility will be connected to the Onslow Beach sewage treatment plant.
- (3) Facility design will address the risks associated with hurricanes and related flooding.

This assessment should be applicable to any site located between Sites A and C shown in attachment (1). The significant environmental variables concern impact on sand dunes and or wetland areas/marsh. Should any site be relocated within the area to reduce impact on these resources, it is not anticipated that this assessment would have to be redone.

c. Alternatives. The only feasible alternative is to take no action. This alternative is not consistent with local requirements to provide military personnel and their dependents with recreational services required to maintain adequate morale. Access to civilian controlled beaches in the area is poor. Even though much attention has been given to alleviating this problem by state and local planning and governmental agencies, the problem appears to be worsening. No basis can be established for not implementing the proposed action if it can be accomplished without significant adverse impact on the Natural Resources within the area affected by the project. The area does have severe limitations for flooding and erosion during storms/hurricanes. However, these considerations relate to the protection of life and property and do not necessarily have significant environmental consequences.

3. Compliance with Federal, State and Local Environmental Regulations and Guidelines.

a. Applicable Regulations. The proposed action has been reviewed for consistency with laws, regulations and guidelines outlined in attachment (2). Because the proposed facility is to be located on a barrier island the proposed action is of concern to both local and state officials/agencies involved in implementation of Coastal Zone Management Act requirements described in



paragraph 1h of attachment (1). The disposed project was discussed by NREAB personnel with Mr. Dan Small, Federal Activities Coordinator, Office of Coastal Management and Mr. Ken Windley, County Planner, Onslow County North Carolina. In addition, Mr. Charles Jones, Office of Coastal Management, Regional Office, Morehead City, N.C. visited the proposed sites and provided interpretations and recommendations. The following summarize concerns identified:

(1) Sand Dune Protection. Construction activities and wear and tear from people working or driving over the dunes typically cause severe damage to vegetation on dunes. Leveling of tops of dunes to accommodate construction is detrimental to the stability of the dunes. The dunes affected by this project are either frontal or primary dunes, and any adverse impact is in conflict with paragraph 1h of attachment (2). Frontal or primary dunes are those dunes which will absorb the wave action and high-water condition during a severe storm. These dunes are well defined at the proposed site.

(2) Erosion Rate of Shoreline. Structures should be designed with sufficient set back to avoid damage from normal erosion rates of beach front. This is a protection of property concern which also relates to sand dune protection.

(3) Impact on marshes and other coastal wetlands. These areas are generally found on the mainland side of the barrier islands. These provide nursery areas for aquatic species and are of primary concern of local, state and federal regulatory agencies. Potential impacts are related to sewage disposal and damage from dredging, filling and spoil disposal.

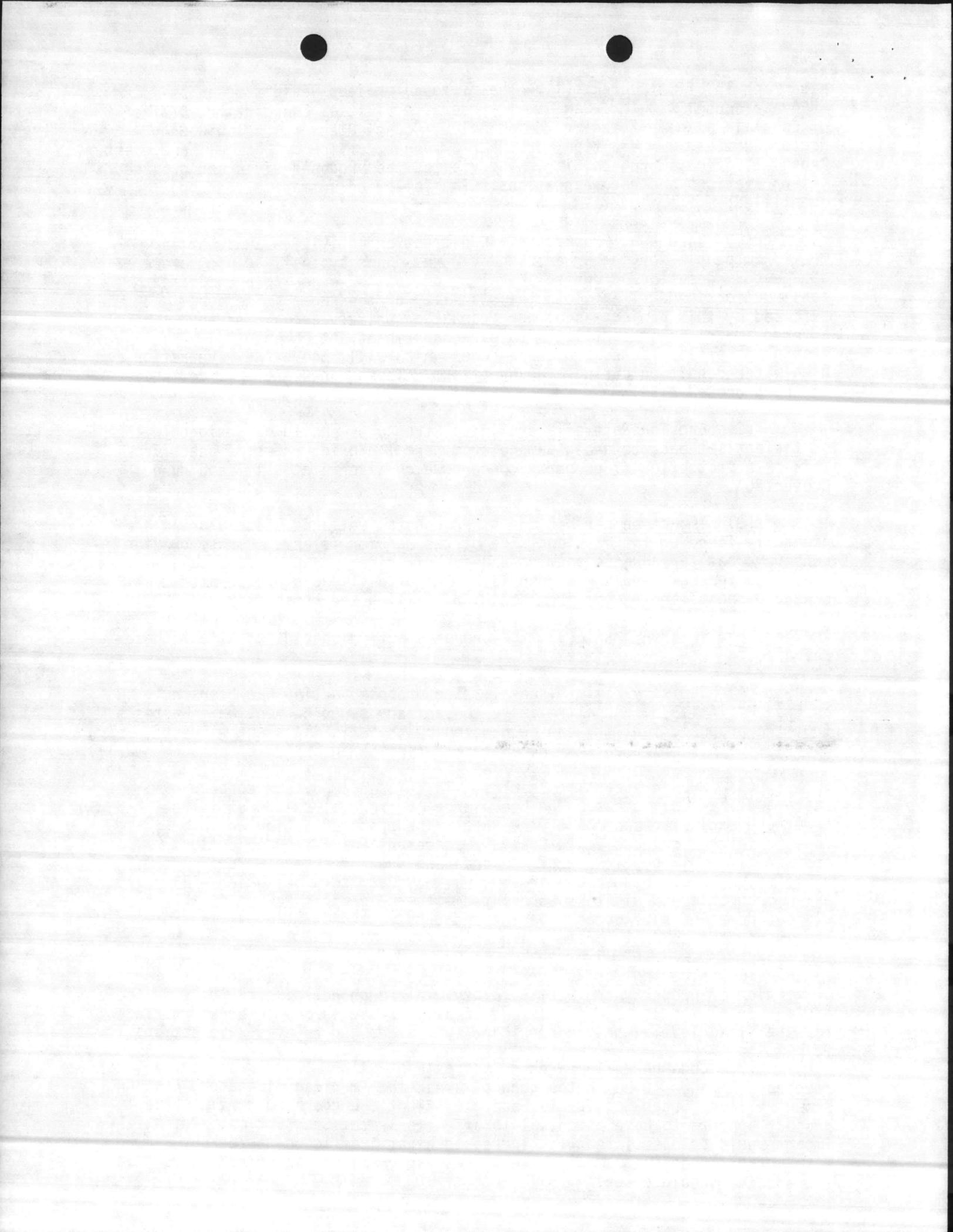
As described in attachment (1), the proposed action should not affect these resources.

(4) Sanitary Waste Disposal. The proposed action has been reviewed by Base Utilities personnel relative to sanitary sewer connection. Wastes from the proposed facility can be handled by the existing plant without conflict with requirements of NPDES permit (see paragraph 2a of attachment (1)).

(5) Public access to Beaches. This is an important concern of state and local officials. The beach area in front of the dunes is not under the exclusive control of the Base. The proposed action would be in conflict with local and state Coastal Management Commission objectives and guidelines if public use of the area and present access were adversely affected. The project should provide walkways across dunes which will allow occupants and visitors associated with the project to get to the beach without damaging sand dunes. Design and construction of the walkways should be done so as to protect dunes.

(6) Flooding during Hurricane/storms. This is an issue involving protection of property and public safety. Although not directly related to environmental issues, specifications of all structures should be appropriate for the flood levels and the hurricane type winds and related wave action.

(7) Endangered/Threatened Species Protection. Four protected species are known to be in the general area, the American Alligator, Eastern Brown Pelican, Green Sea Turtle, and the Atlantic Loggerhead turtle. The project appears to have potential to affect only the Sea Turtles. Potential impact would be associated with increased night traffic on the beach. With current Base program to protect these species, no significant affect on the species should occur.



b. Planning Considerations. The Public Works Officer will address the following issues during the design of the subject facilities:

(1) Will ensure that no structures except crosswalks are constructed on the dunes and that crosswalk design and construction minimizes impact on and repairs any damage to dunes.

(2) Evaluate feasibility to build up dunes in front of sites A and C to reduce chance of waves topping dunes.

(3) Construction at site B will cause serious damage to primary dune unless road is relocated further away from base of dune. Alternatives will be evaluated to either relocate site or relocate road.

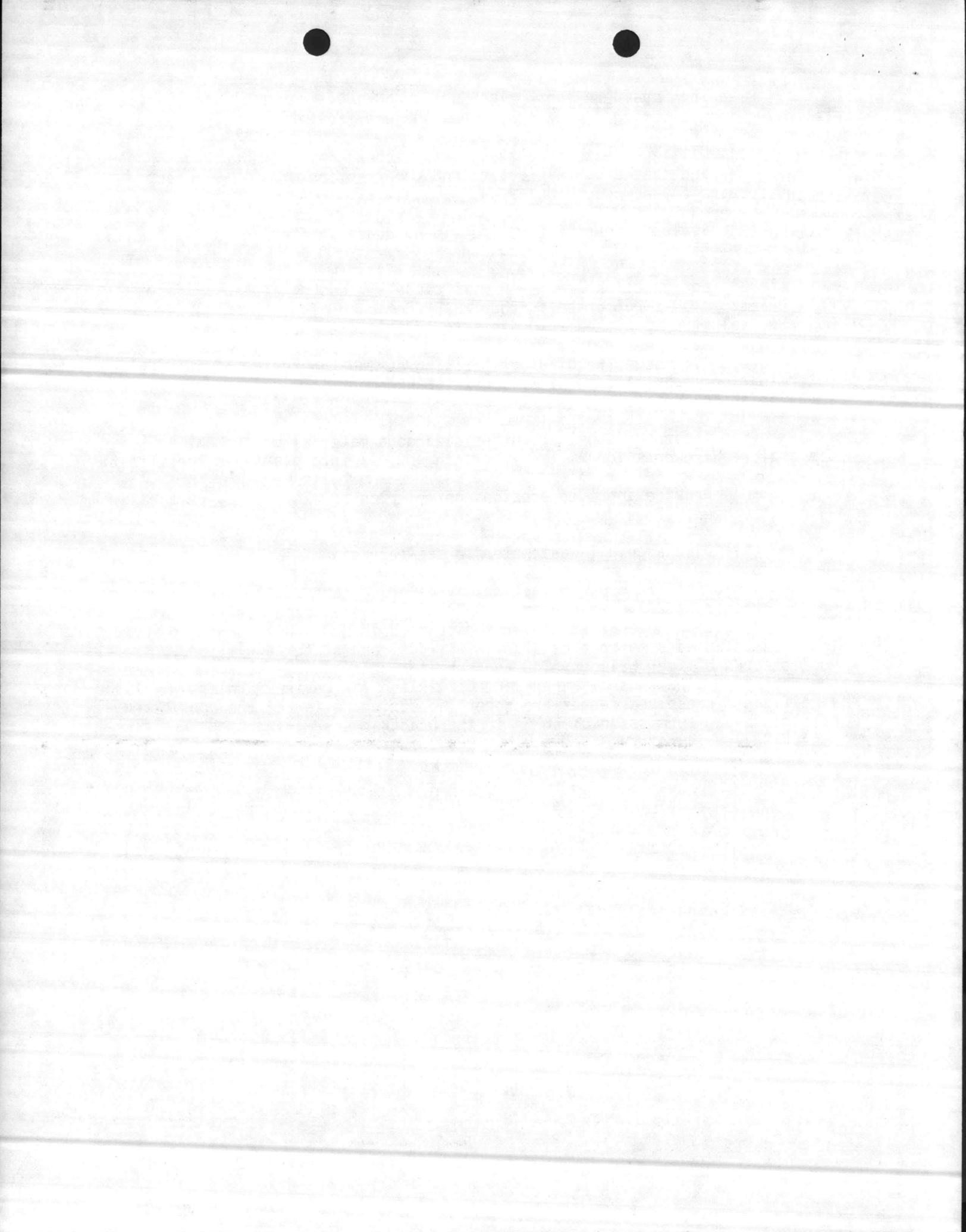
(4) All issues/requirements arising during the review of consistency determinations submitted to N. C. Coastal Management Commission per paragraph 1 (h) of attachment (2).

(5) Incorporate oil and other hazardous material management and disposal requirements identified in attachment (1) into plans and specifications.

(6) Provide approved erosion control plan as required by paragraph 2j of attachment (2).

(7) Discharge all wastewater to sanitary sewer.

4. Conclusions: The proposed action may generate some controversy from private sector relative to economic impact on private commercial recreation. With modification to address concerns discussed in paragraph 3a and 3b above, the project appears to be consistent with local and state regulations. The Public Works Officer will develop and submit a consistency determination to the North Carolina Coastal Management Commission for review. Unless significant unresolved issues are generated during review of the consistency determination, submission of an EA to the Headquarters Marine Corps Environmental Impact Review is not required per MCO 6280.5.



1. COMPONENT NAVY		FY 19 82 <u>83</u> MILITARY CONSTRUCTION PROJECT DATA			2. DATE 5 MAY 1982	
3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542				4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, ONSLow BEACH AREA		
5. PROGRAM ELEMENT		6. CATEGORY CODE 740-81	7. PROJECT NUMBER P-775		8. PROJECT COST (\$000) \$3,100	
9. COST ESTIMATES						
ITEM		U/M	QUANTITY	UNIT COST	COST (\$000)	
RECREATIONAL LODGE/MOTEL		SF	34,056	67.80	2,309	
MOTEL UNITS		SF	32,460	51.02	(1,656)	
ADMINISTRATIVE BLDG		SF	1,596	50.75	(81)	
BUILT-IN EQUIPMENT		LS	-	-	(520)	
SOLAR HOT WATER SYSTEM		LS	-	-	(52)	
SUPPORTING FACILITIES		LS	-	-	333	
SPECIAL CONSTRUCTION FEATURES		LS	-	-	(91)	
UTILITIES		LS	-	-	(121)	
SITE IMPROVEMENTS		LS	-	-	(121)	
SUBTOTAL		LS	-	-	2,642	
CONTINGENCY - 5%		LS	-	-	132	
TOTAL CONTRACT COST		LS	-	-	2,774	
SUPERVISION, INSPECTION & OVERHEAD - 5.5%		LS	-	-	152	
TOTAL REQUEST		LS	-	-	2,926	
EQUIPMENT PROVIDED FROM OTHER APPROPRIATIONS		-	-	-	-	
A&E SERVICE (6%)		LS	-	-	175	
PROJECT COST (ROUNDED)		LS	-	-	3,100	
10. DESCRIPTION OF PROPOSED CONSTRUCTION						
Two-story frame buildings, wood siding, pile foundations, bedroom units with bathroom, kitchenette and lounge area. One-story frame building, wood siding, pile foundation Administrative Building. Provide all required exterior/interior utilities, site improvements and demolition.						
11. REQUIREMENTS: 66,640 SF, Adequate: 0 SF, Substandard: 32,584 SF						
PROJECT: Provide a multi-unit recreational lodge/motel with administrative office on Onslow Beach. (Total of 80 units divided into three buildings.)						
REQUIREMENTS: A facility is needed to replace 23 mobile home trailers and other substandard facilities being utilized as recreational lodges.						
CURRENT SITUATION: The mobile home trailers are deteriorated and rusted out and the other facilities are in need of repair.						
IMPACT IF NOT PROVIDED: Military and retired personnel and their dependents will be compelled to continue utilizing substandard facilities resulting in continued low morale.						

VM

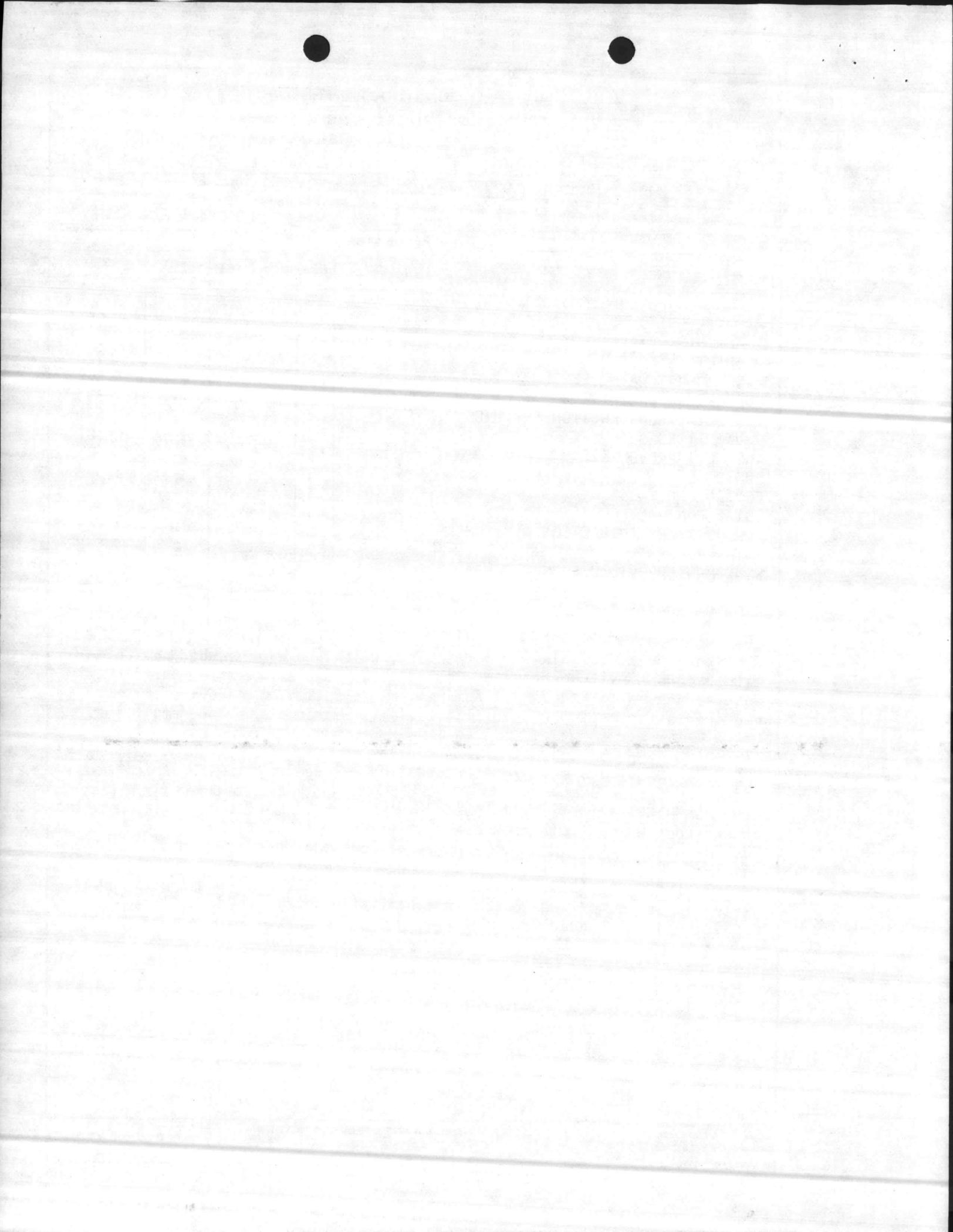
DD FORM 1391
1 DEC 76PREVIOUS EDITIONS MAY BE USED INTERNALLY
UNTIL EXHAUSTED

PAGE NO. 1 of 2

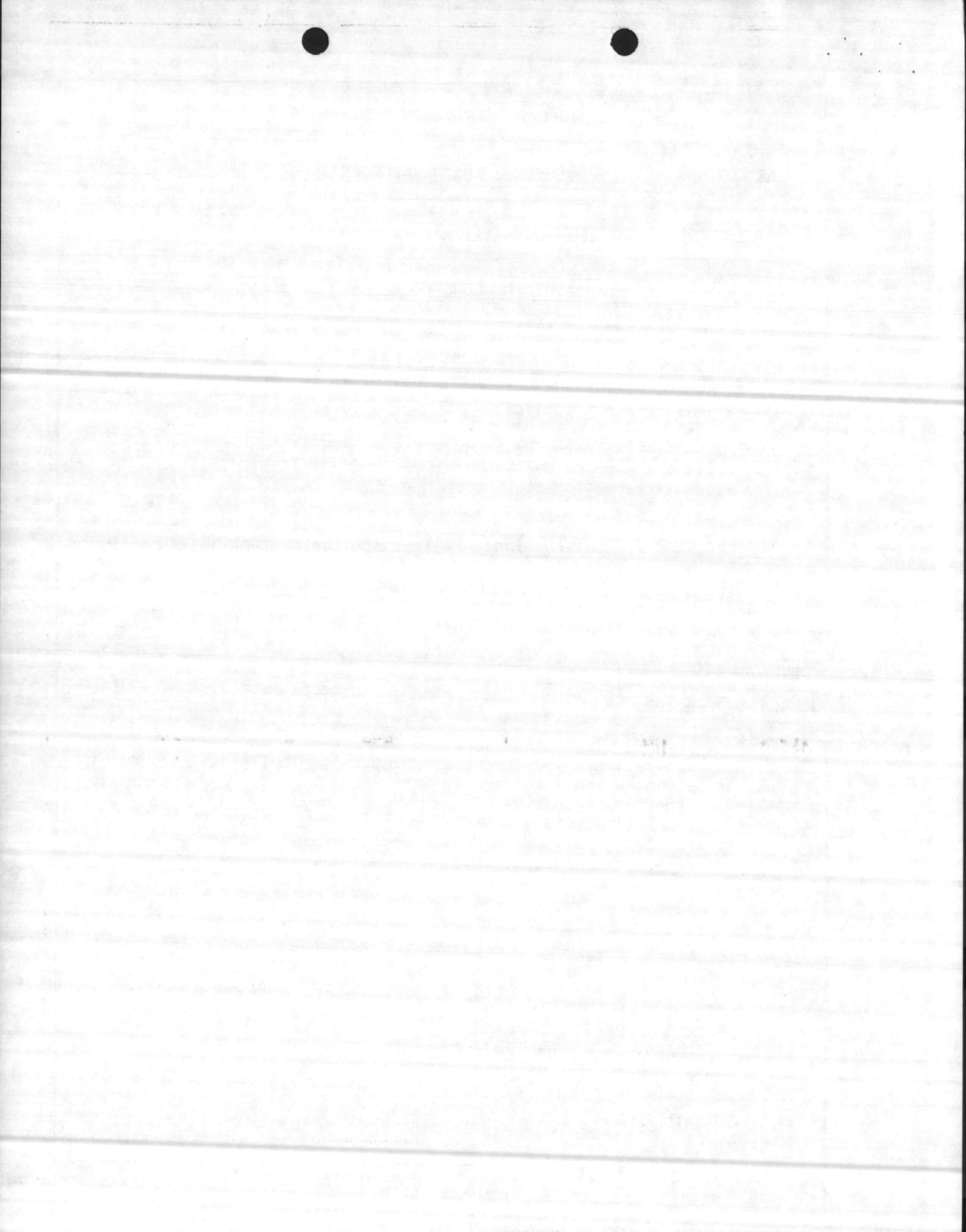
S/N 0102-LF-001-3910

ENCL (3)

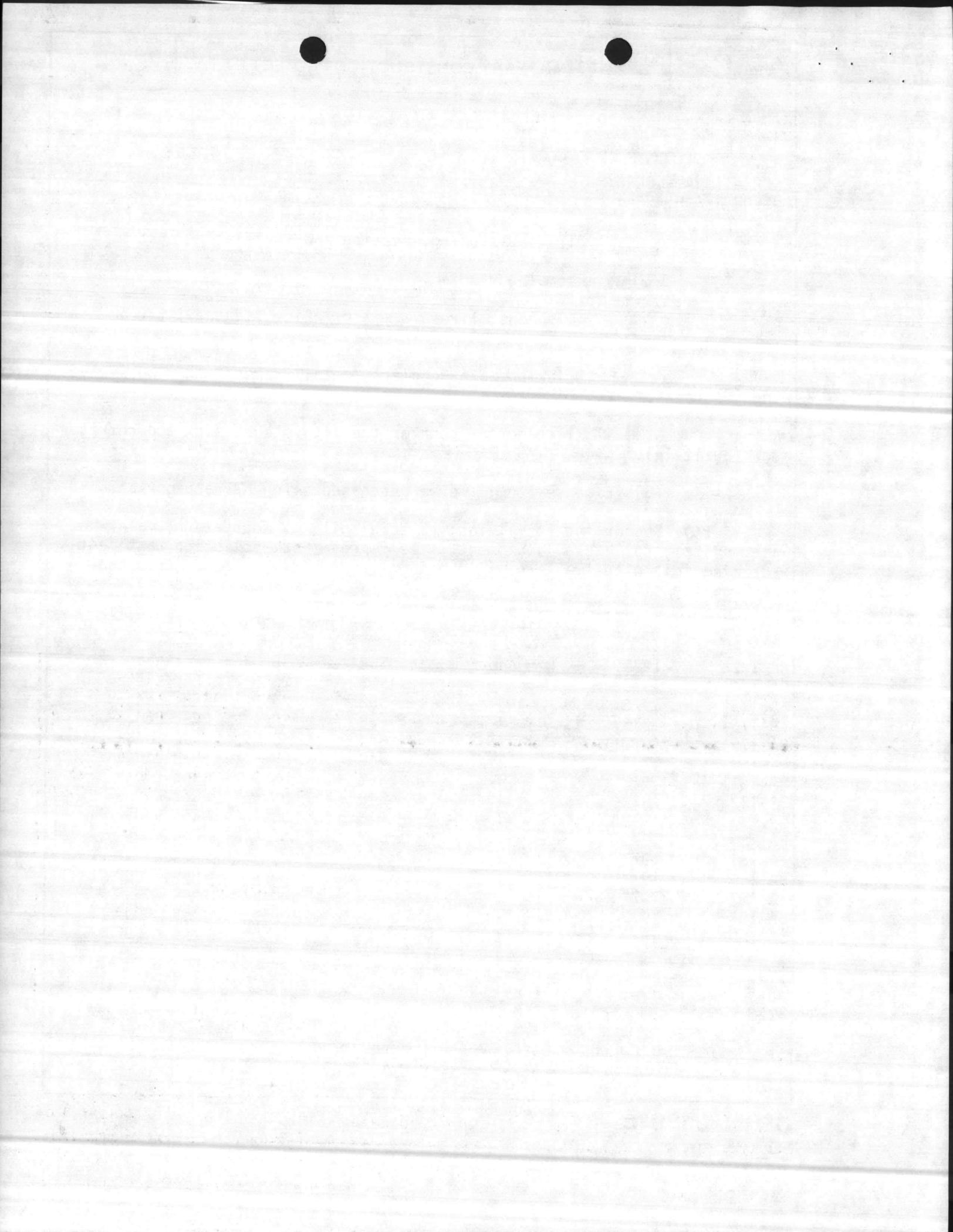
ATTACHMENT (1)



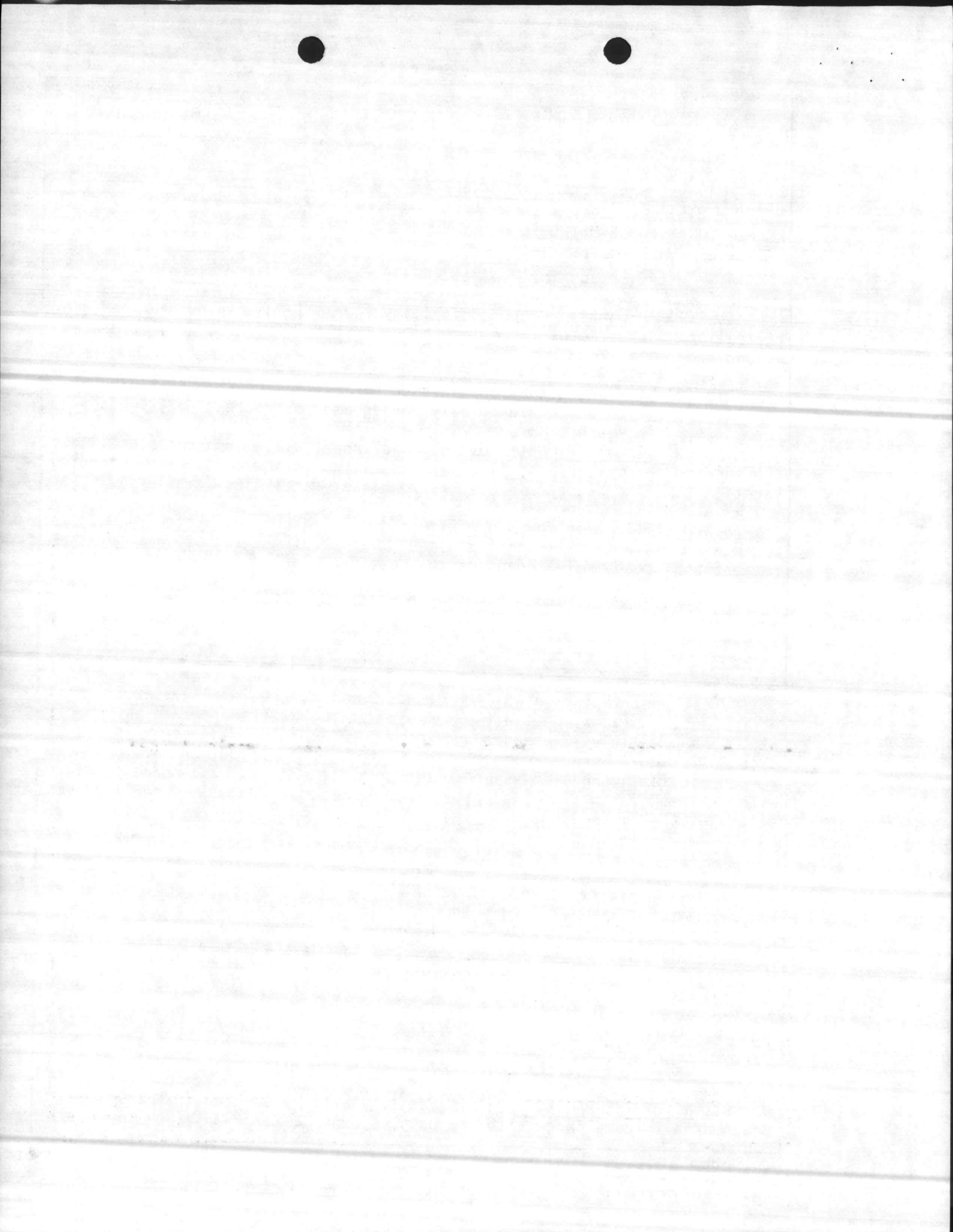
1. COMPONENT NAVY	FY 19 <u>83</u> MILITARY CONSTRUCTION PROJECT DATA	2. DATE 5 MAY 1982
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, ONSLOW BEACH AREA	5. PROJECT NUMBER P-775	
<p style="text-align: center;"><u>SPECIAL CONSIDERATIONS</u></p> <ol style="list-style-type: none"> 1. <u>Pollution Prevention, Abatement, and Control</u>: This project will not cause additional air or water pollution. 2. <u>Flood Hazard Evaluation</u>: Requirements of Executive Order No. 11296 (Flood Hazards) are not applicable. 3. <u>Environmental Impact</u>: The project Environmental Impact Assessment will be written and processed through the local EIA Review Board. No significant adverse impact is anticipated. 4. <u>Fallout Shelter Construction</u>: Fallout shelter protection is not incorporated in this project. 5. <u>Design for Accessibility of Physically Handicapped Personnel</u>: Provisions for physically handicapped personnel are incorporated in this project. 6. <u>Use of Air Conditioning</u>: Ceiling "U" factors will be made to conform WITH: DOD 4270.1-M. 7. <u>Preservation of Historical Sites and Structures</u>: This project does not directly or indirectly affect a district, site, building, structure, object, or setting which is listed in the National Register or otherwise possesses a significant quality of American history. 8. <u>"New Start" Criteria for Commercial or Industrial Activities Program (OMB Circular A-76)</u>: Not applicable. 		



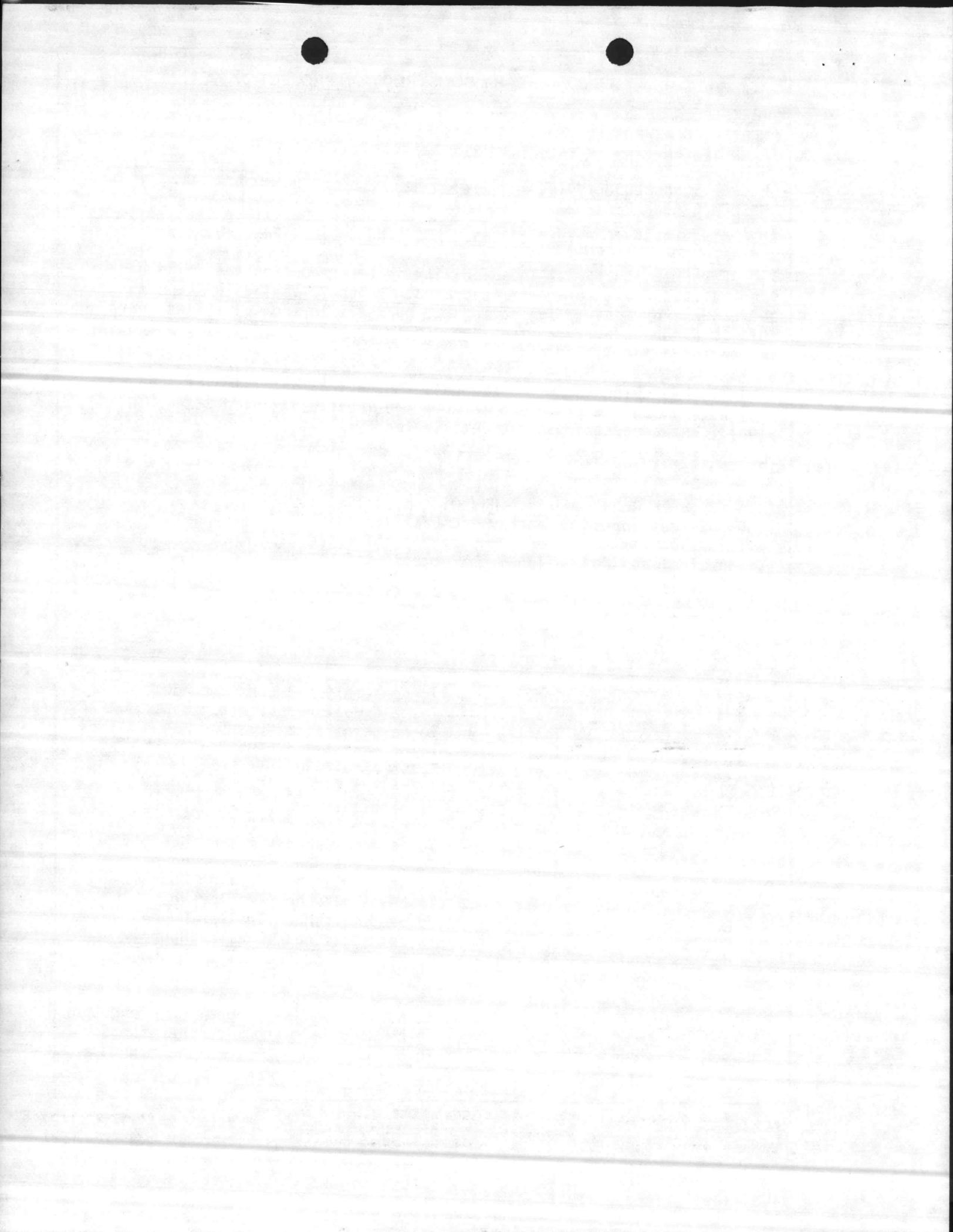
1. COMPONENT NAVY	FY 1983 MILITARY CONSTRUCTION PROJECT DATA			2. DATE 5 MAY 1982	
3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542					
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL ON SLOW BEACH AREA				5. PROJECT NUMBER P-775	
<p>Air conditioning, heating and ventilating systems. Plumbing. Telephone, fire alarm, sprinkler, TV and intercom systems. Drinking water coolers, metal frames with windows and window screens. Kitchenette, counter top with stove, sink and refrigerator (built-in).</p> <p>(b) <u>Expense Item:</u> To be purchased using NAF appropriations.</p> <p>(4) <u>Supporting Facilities:</u> Special piling, foundation, solar hot water system, collateral equipment, site improvement, pollution abatement, etc. The following trailers will be demolished and/or removed from the construction site area.</p>					
<u>BLDG NO.</u>	<u>CONSTR.</u>	<u>TYPE CONSTR.</u>	<u>SF</u>	<u>COND.</u>	<u>USE.</u>
BA-172	1973	T	552	SS	Rec Lodge
BA-174	1973	T	552	SS	Rec Lodge
BA-175	1973	T	552	SS	Rec Lodge
BA-176	1973	T	552	SS	Rec Lodge
BA-179	1972	T	648	SS	Rec Lodge
BA-180	1972	T	648	SS	Rec Lodge
BA-181	1972	T	648	SS	Rec Lodge
BA-182	1972	T	648	SS	Rec Lodge
BA-183	1972	T	648	SS	Rec Lodge
BA-184	1972	T	648	SS	Rec Lodge
BA-185	1972	T	648	SS	Rec Lodge
BA-186	1972	T	648	SS	Rec Lodge
BA-187	1972	T	720	SS	Rec Lodge
BA-188	1972	T	720	SS	Rec Lodge
BA-189	1972	T	720	SS	Rec Lodge
4. <u>COST ESTIMATE:</u> Area cost factor for Camp Lejeune, NC, is 0.95. Cost data derived from the Military Construction Cost Review Guide, FY-82 (DOD 4270.1-CG), and escalated to FY-83 to provide for this proposed facility.					
5. <u>JUSTIFICATION FOR PROJECT AND FOR SCOPE OF PROJECT:</u>					



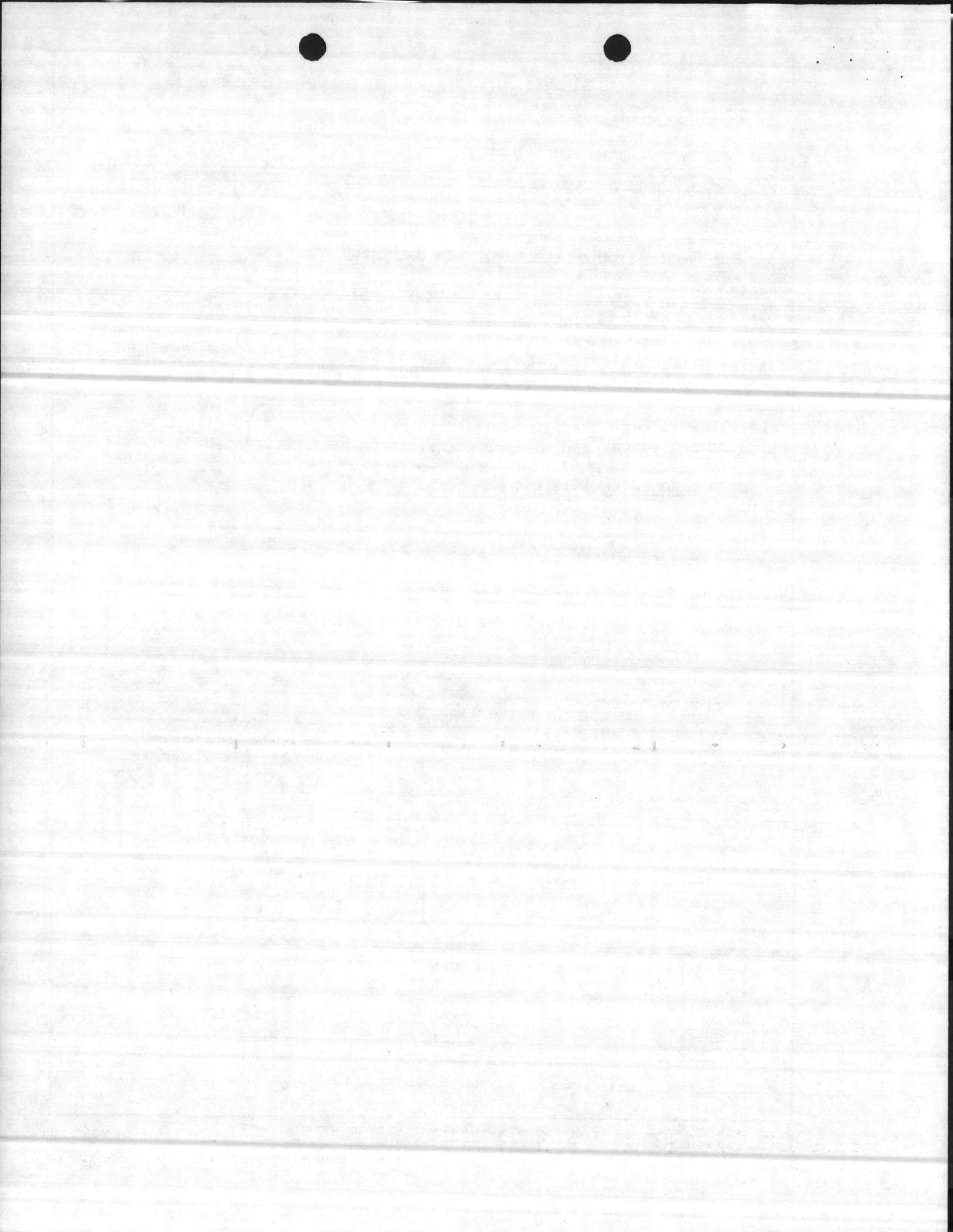
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4. PROJECT TITLE RECREATIONAL LODGE/MOTEL ONSLow BEACH AREA	5. PROJECT NUMBER P-775																													
<p>a. <u>Justification for Project:</u></p> <p>(1) <u>Project:</u> Proposed facility is required to provide an adequate recreational lodge/motel to replace house trailers which have deteriorated beyond economical repair.</p> <p>(2) <u>Current Situation:</u> Personnel are staying in substandard house trailer facilities which are totally inadequate for recreational needs.</p> <p>(3) <u>Impact if Not Provided:</u> Personnel will continue to utilize substandard and makeshift facilities, resulting in low morale from spending vacation time in the deteriorated recreational facilities (trailers).</p> <p>b. <u>Justification for Scope of Project:</u> The project scope (34,056) is the minimum size facility that can meet the deficiency requirement for the recreational lodge/motel needs of the Base. (See item 13.)</p>																														
6. <u>EQUIPMENT PROVIDED FROM OTHER APPROPRIATIONS:</u> Not applicable.																														
7. <u>COMMON SUPPORT FACILITIES:</u> Not applicable.																														
8. <u>EFFECT ON OTHER RESOURCES:</u> The project will require approximately \$8,497 per year in increased O&MMC funds for increased utility services and operations. No additional personnel will be required to operate this facility. The project will enhance and improve the morale of personnel presently using existing substandard facilities. Proposed construction should be responsive to the challenges presented by the energy situation and comply with the requirements of Executive Order 12003 of 20 July 1977 and implemented by NAVFACINST 4100.5A.																														
<p style="text-align: center;"><u>UTILITY REQUIREMENTS</u></p> <table border="0"> <tr> <td>a. Electricity</td> <td>Consumption</td> <td>83,819</td> <td>KWHR/yr</td> </tr> <tr> <td></td> <td>Peak Demand</td> <td>52</td> <td>KW</td> </tr> <tr> <td></td> <td>Average Demand</td> <td>48</td> <td>KW</td> </tr> <tr> <td>b. Steam</td> <td>Consumption</td> <td>3,759,752</td> <td>Lbs/Yr</td> </tr> <tr> <td></td> <td>Demand</td> <td>1,346</td> <td>Lbs/Hr</td> </tr> <tr> <td>c. Coal</td> <td></td> <td>146.8</td> <td>Tons/Yr</td> </tr> <tr> <td>d. Adequate utility requirements are available.</td> <td></td> <td></td> <td></td> </tr> </table>			a. Electricity	Consumption	83,819	KWHR/yr		Peak Demand	52	KW		Average Demand	48	KW	b. Steam	Consumption	3,759,752	Lbs/Yr		Demand	1,346	Lbs/Hr	c. Coal		146.8	Tons/Yr	d. Adequate utility requirements are available.			
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d. Adequate utility requirements are available.																														
9. <u>SITING OF THE PROJECT:</u> This facility will be located in the Onslow Beach area in compliance with the Camp Lejeune Master Plan. (See Encl (1))																														



1. COMPONENT NAVY	FY 19 83 MILITARY CONSTRUCTION PROJECT DATA	2. DATE 5 MAY 1982																																																																																
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<p>10. <u>OTHER GRAPHIC PRESENTATIONS, INCLUDING PHOTOGRAPHS:</u> None.</p> <p>11. <u>ECONOMIC ANALYSIS:</u> This facility is being constructed on an undeveloped site adjacent to a developed area. Economic savings will be in nominal energy consumption savings to be realized from efficient operations. This is a nonappropriated fund project in support of providing adequate recreational facilities for personnel morale and recreation.</p> <p>12. <u>ENVIRONMENTAL IMPACT ASSESSMENT:</u> An environmental impact assessment will be written and processed through the local EIA Review Board. No significant adverse impact is anticipated.</p> <p>13. <u>QUANTITATIVE DATA:</u></p> <p>a. <u>BFRL Requirements:</u> Basewide miscellaneous is 66,640 SF. NAVFAC P-80 provides for space authorized based on number of personnel using facility and limitation on occupancy of the recreation area determined by its physical and recreational characteristics. There are no definitive drawings given in NAVFAC P-272 for Category Code 740-81.</p> <p>b. <u>Existing Facilities:</u></p> <table border="1"> <thead> <tr> <th data-bbox="297 1094 430 1129">BLDG NO.</th> <th data-bbox="480 1094 602 1129">AREA SF</th> <th data-bbox="662 1094 808 1129">COND CODE</th> <th data-bbox="1049 1087 1166 1123">REMARKS</th> </tr> </thead> <tbody> <tr><td>BA-172</td><td>552</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-174</td><td>552</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-175</td><td>552</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-176</td><td>552</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-179</td><td>648</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-180</td><td>648</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-181</td><td>648</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-182</td><td>648</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-183</td><td>648</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-184</td><td>648</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-185</td><td>648</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-186</td><td>648</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-187</td><td>720</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-188</td><td>720</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-189</td><td>720</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td></td><td>10,200</td><td>Inadequate*</td><td></td></tr> <tr><td>BA-114</td><td>19,324</td><td>SS*</td><td>To be upgraded with local NAF funds</td></tr> <tr><td>BA-119</td><td>1,596</td><td>SS*</td><td>To be upgraded with local NAF funds</td></tr> <tr><td>BA-120</td><td>1,232</td><td>SS*</td><td>To be upgraded with local NAF funds</td></tr> </tbody> </table>			BLDG NO.	AREA SF	COND CODE	REMARKS	BA-172	552	Inad*	To be demolished (Trailer House)	BA-174	552	Inad*	To be demolished (Trailer House)	BA-175	552	Inad*	To be demolished (Trailer House)	BA-176	552	Inad*	To be demolished (Trailer House)	BA-179	648	Inad*	To be demolished (Trailer House)	BA-180	648	Inad*	To be demolished (Trailer House)	BA-181	648	Inad*	To be demolished (Trailer House)	BA-182	648	Inad*	To be demolished (Trailer House)	BA-183	648	Inad*	To be demolished (Trailer House)	BA-184	648	Inad*	To be demolished (Trailer House)	BA-185	648	Inad*	To be demolished (Trailer House)	BA-186	648	Inad*	To be demolished (Trailer House)	BA-187	720	Inad*	To be demolished (Trailer House)	BA-188	720	Inad*	To be demolished (Trailer House)	BA-189	720	Inad*	To be demolished (Trailer House)		10,200	Inadequate*		BA-114	19,324	SS*	To be upgraded with local NAF funds	BA-119	1,596	SS*	To be upgraded with local NAF funds	BA-120	1,232	SS*	To be upgraded with local NAF funds
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3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542			
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL ONSLOW BEACH AREA			5. PROJECT NUMBER P-775
<u>BLDG NO.</u>	<u>AREA (SF)</u>	<u>COND CODE</u>	<u>REMARKS</u>
BA-143	1,536	SS *	To be upgraded with local NAF funds
BA-144	3,152	SS *	To be upgraded with local NAF funds
BA-146	1,232	SS *	To be upgraded with local NAF funds
BA-147	772	SS *	To be upgraded with local NAF funds
SBA-142	3,740	SS *	To be upgraded with local NAF funds
	32,584	Substandard *	
* Facility is reflected as adequate in NAVFAC 10651 dated 31 October 1980 which is a misnomer and will be corrected on next document update.			
c. <u>Planned Facilities:</u>			
<u>Project No.</u>	<u>Area SF</u>		
P-775	34,056		
d. <u>Summary:</u>			
Existing Adequate Facilities:	0		
Planned Facilities:	34,056		
Total Planned & Existing:	34,056		
BFRL Total:	66,640		
14. <u>FUNDING:</u> Funding will be from the Non-Appropriated Fund, Central Construction Fund, HQMC.			



COST ESTIMATE

DATE PREPARED
5 MAY 1982

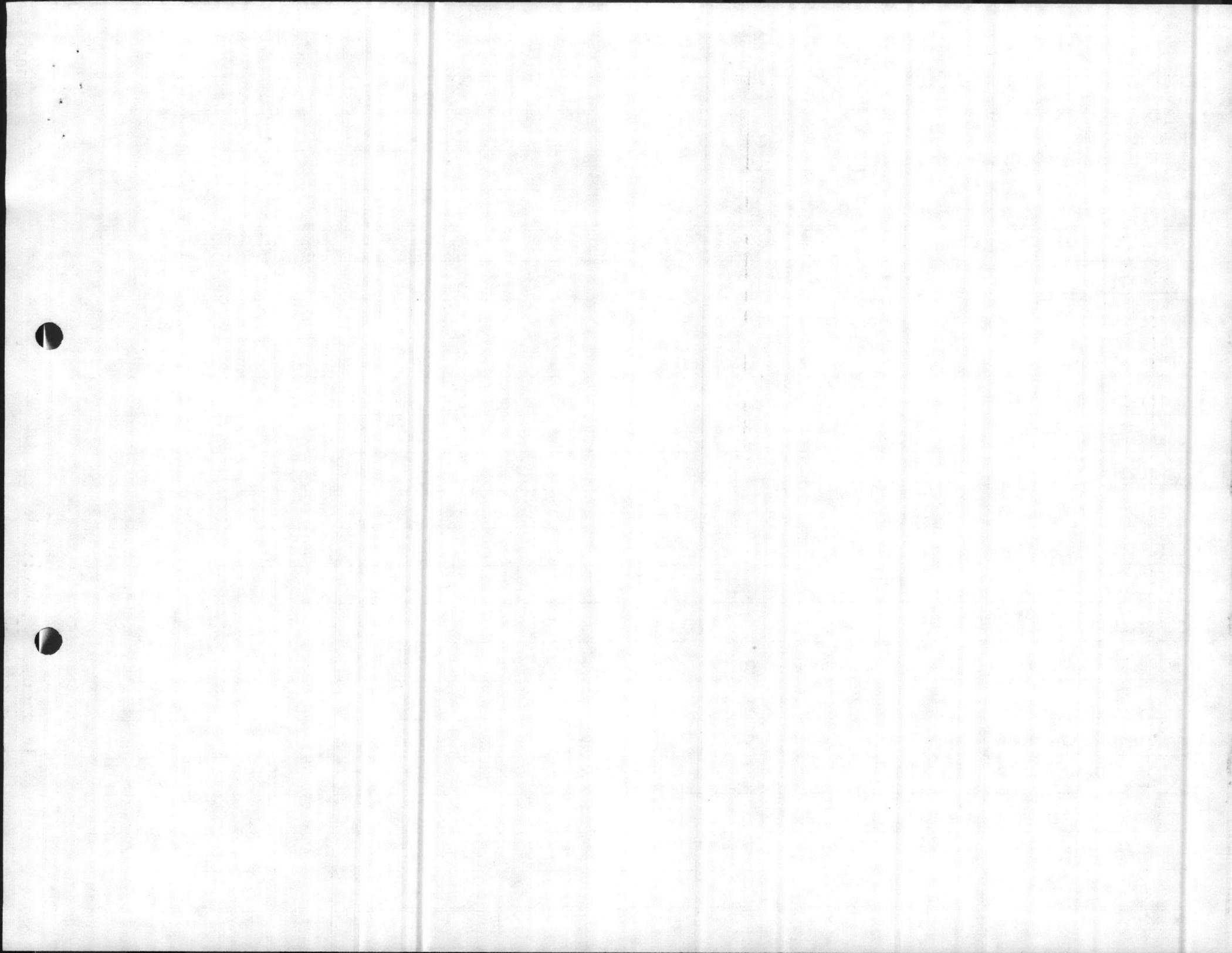
SHEET 1 OF 1

ACTIVITY AND LOCATION
MARINE CORPS BASE
CAMP LEJEUNE, NORTH CAROLINA 28542
PROJECT TITLE
RECREATIONAL LODGE/MOTEL, ONSLOW BEACH AREA

CONSTRUCTION CONTRACT NO.
ESTIMATED BY
V. MARSHBURN
STATUS OF DESIGN
 PED 30% 100% FINAL Other (Specify) Project

IDENTIFICATION NUMBER
P-775
CATEGORY CODE NUMBER
740-81
JOB ORDER NUMBER

ITEM DESCRIPTION	QUANTITY		MATERIAL COST		LABOR COST		ENGINEERING ESTIMATE	
	NUMBER	UNIT	UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL
<u>RECREATIONAL LODGE/MOTEL</u>								
MOTEL UNITS	32,460	SF					36.43	1,182,517
ADMIN BUILDING	1,596	SF					36.43	58,142
BUILT-IN EQUIPMENT	1	LS						371,400
SOLAR HOT WATER SYSTEM	1	LS						37,200
<u>SUPPORTING FACILITIES</u>								
SPECIAL CONSTRUCTION (PILINGS)	1	LS						65,000
UTILITIES								86,400
SITE IMPROVEMENTS								86,500
SUBTOTAL								1,887,159
OVERHEAD, PAYROLL TAXES, INS, S.S., PROFIT - 40%								754,863
SUBTOTAL								2,642,022
CONTINGENCY - 5%								132,101
TOTAL CONTRACT COST								2,774,123
SUPERVISION, INSPECTION & OVERHEAD - 5.5%								152,576
SUBTOTAL								2,926,699



COMMANDANT OF THE MARINE CORPS OFF-1)

P.

67001

FROM: MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542

CATEGORY CODE AND PROJECT TITLE: 740-81 - Recreational Lodge/Motel, Onslow Beach Area. TYPE OF FUNDING: NAF. COST (\$000): 3,100. FISCAL YEAR: FY-83.

PROJECT DESCRIPTION: Two-story frame buildings, woodsiding, pile foundations, bedroom units with bathroom, kitchenette and lounge area. One-story framed Administrative Building.

REMARKS: This is a NAF project in support of recreational requirements.

TYPE OF MAP: Site Location (Encl 1)

DATE

REQUESTED BY (Typed name and signature)

DATE

R. E. CARLSON, CDR, CEC, USN

5 MAY 1982

PUBLIC WORKS OFFICER

DATE RECEIVED

ANALYSIS (Place a check (✓) in box opposite each item. Y = Yes, N = No, NA = Not Applicable)

Table with 2 main columns: PROJECT SITING CONSIDERATION and COMPLIES WITH THE FOLLOWING CRITERIA. Rows include: COMPATIBLE WITH ACTIVITY PLANNED DEVELOPMENT GOALS, DEMONSTRATES SOUND PLANNING PRINCIPLES, MEETS MINIMUM PLANNING AND SITING CRITERIA, and CRITERIA (1) AMMUNITION AND EXPLOSIVES, (2) ELECTROMAGNETIC RADIATION, (3) AIRFIELD SAFETY, (4) NOISE INTENSITY, (5) FIRE PROTECTION.

COMPATIBLE WITH ACTIVITY MASTER PLAN (Check appropriate box)

IDENTICAL

NOT SHOWN BUT CONSISTENT

NOT SHOWN AND INCONSISTENT

DIFFERENT BUT CONSISTENT

DIFFERENT AND INCONSISTENT

CRITERIA CERTIFICATION(S) REQUESTED (Check)

ECESB, CNO, NAVSEA, NAVLEX, NAVAIR, OTHER

DATE

DATE CERTIFICATION(S) RECEIVED

ECESB

CNO

NAVSEA

NAVLEX

NAVAIR

OTHER

ACTION

APPROVED

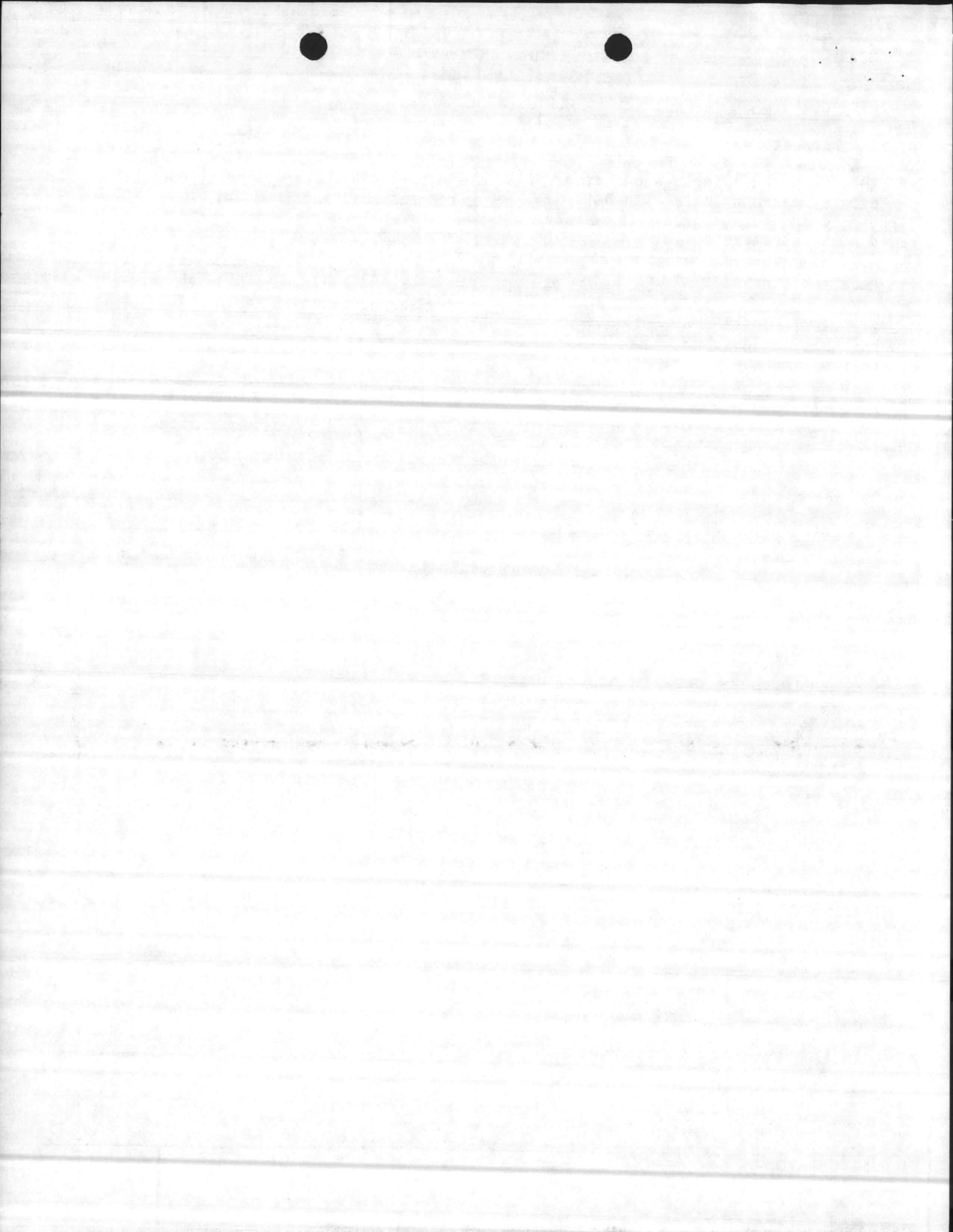
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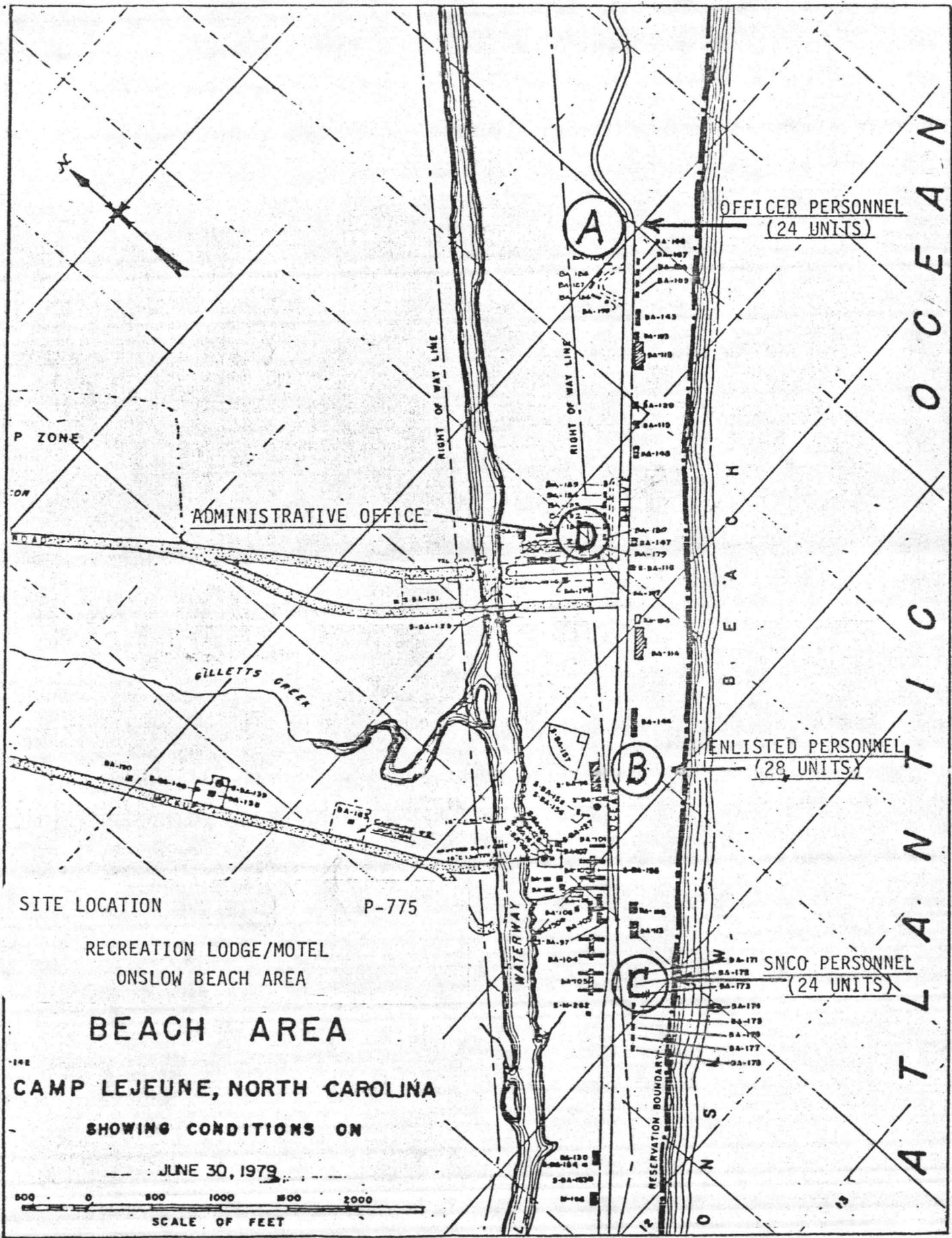
DEFERRED

REMARKS

APPROVING OFFICIAL (Typed name and signature)

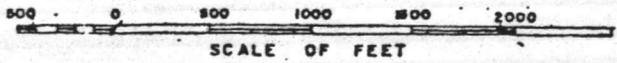
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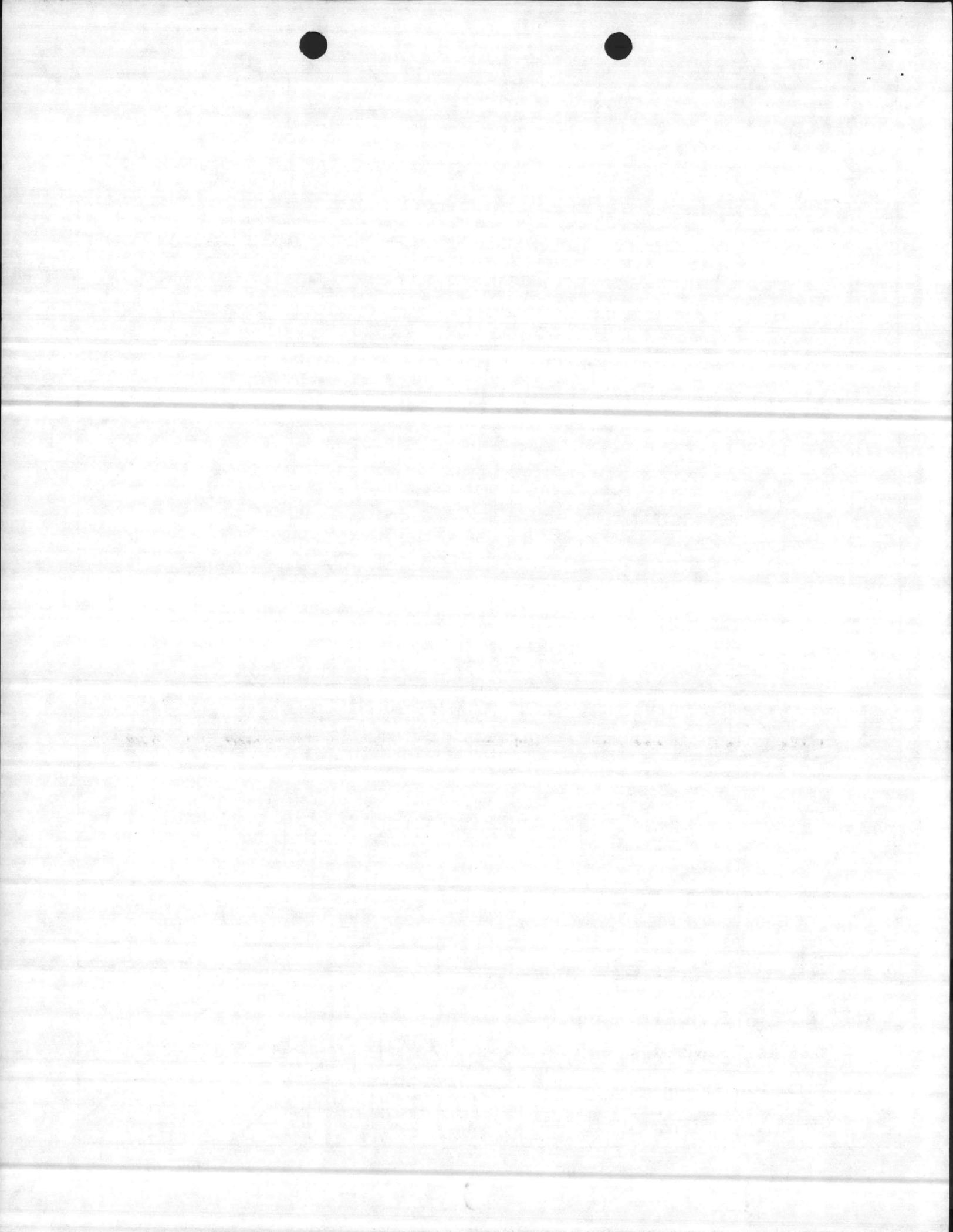


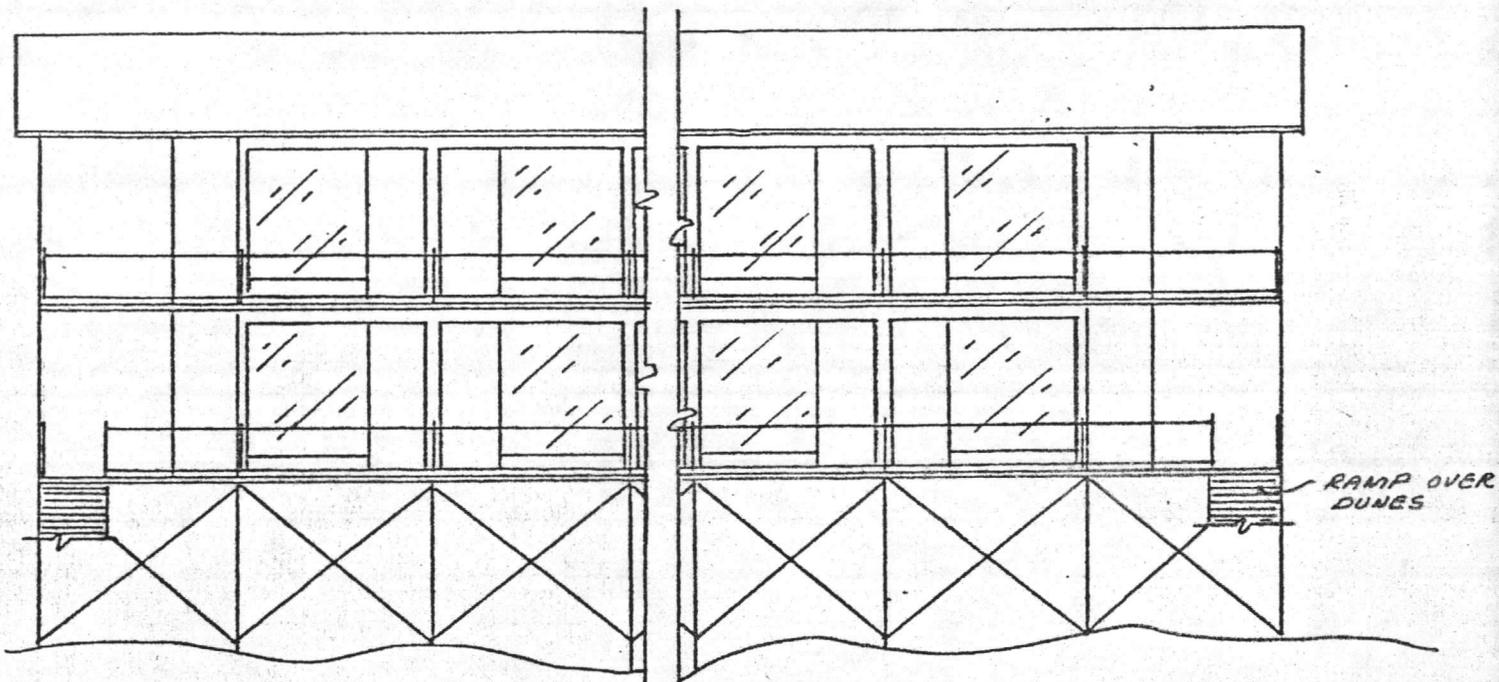


SITE LOCATION P-775
 RECREATION LODGE/MOTEL
 ONSLOW BEACH AREA
BEACH AREA
 CAMP LEJEUNE, NORTH CAROLINA
 SHOWING CONDITIONS ON

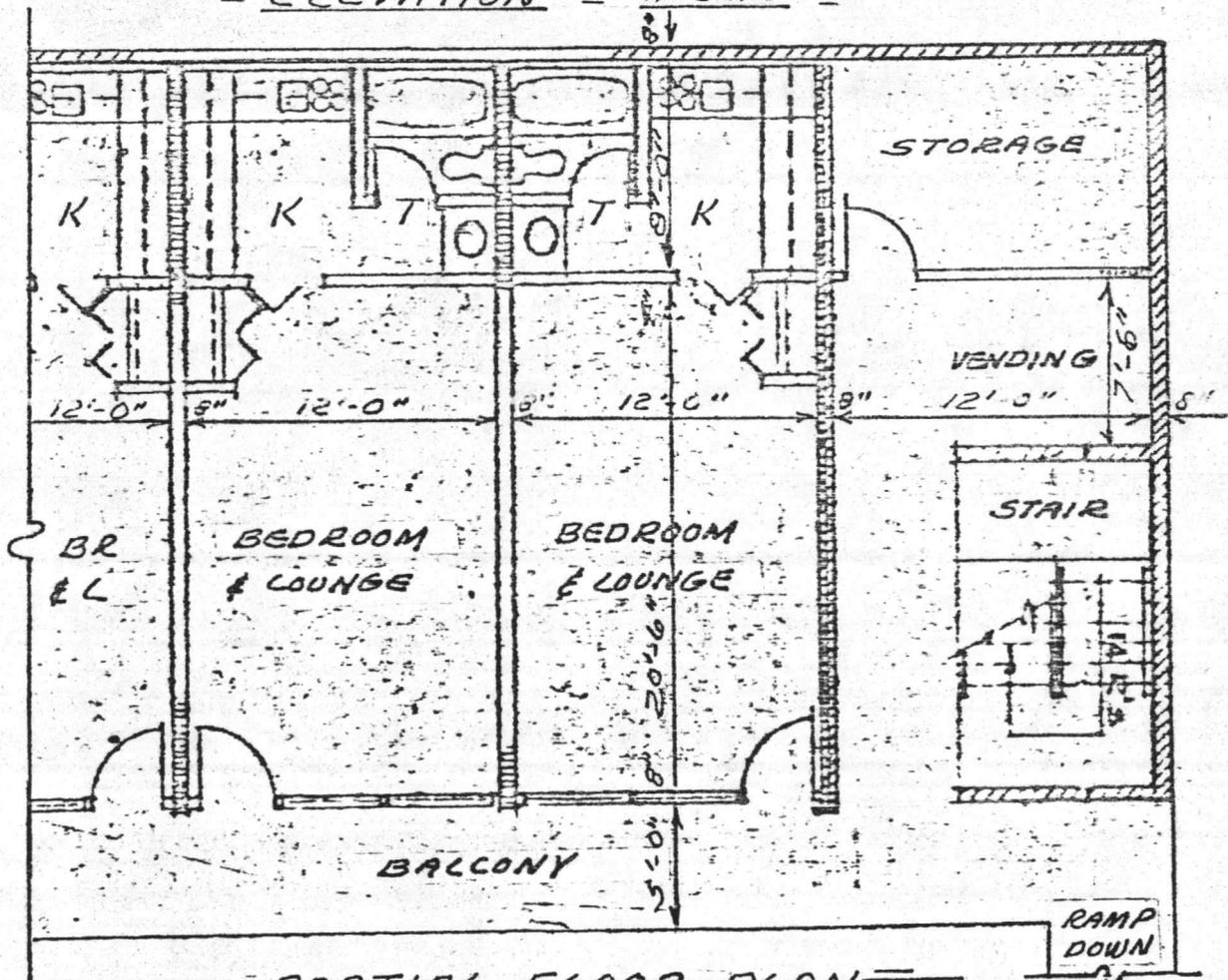
JUNE 30, 1979





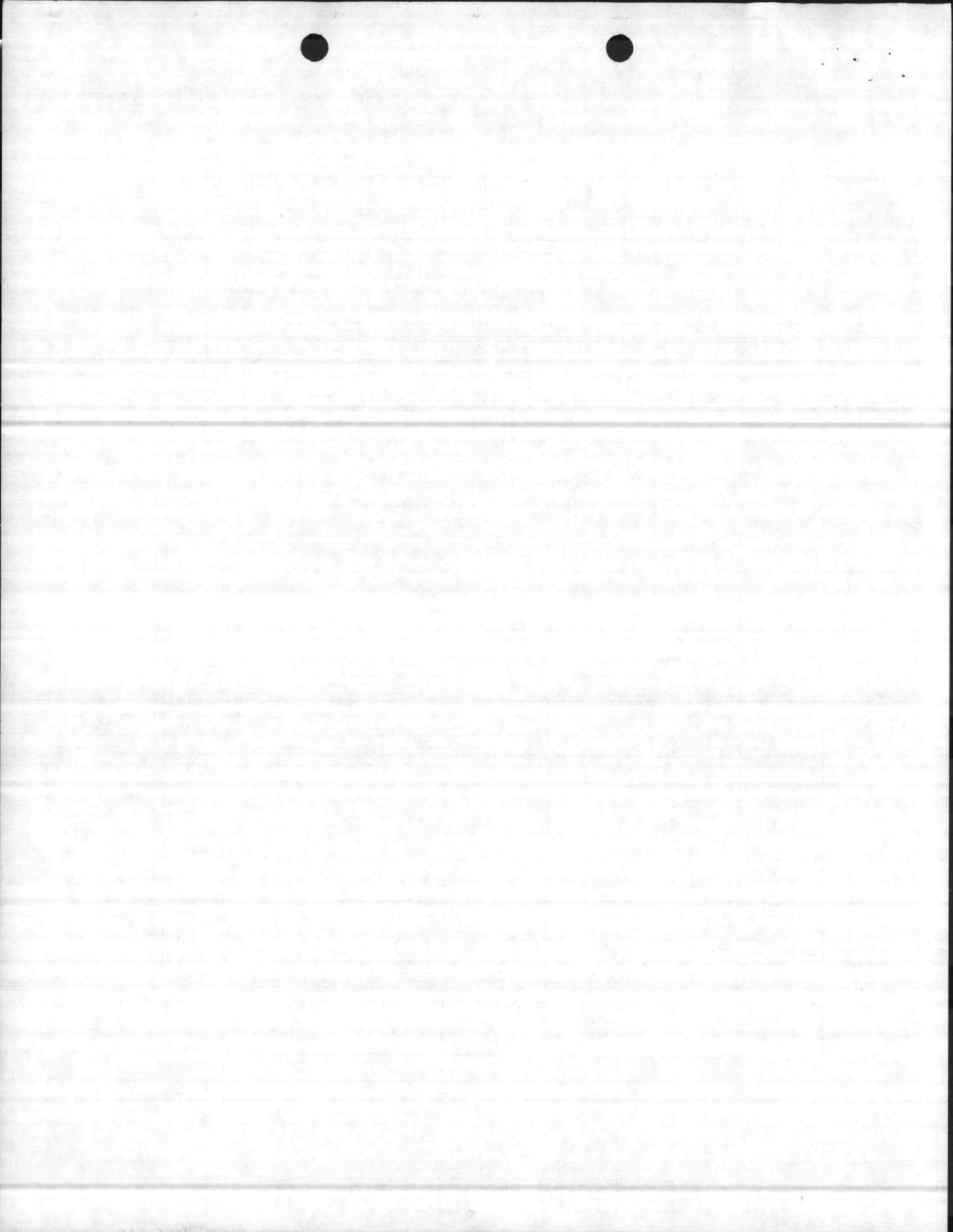


ELEVATION NO SCALE



PARTIAL FLOOR PLAN
SCALE: 1/8" = 1'-0"

P-775
RECREATION LODGE / MOTEL



ENVIRONMENTAL CONSIDERATIONS FOR CONSTRUCTION/MAINTENANCE
AND REPAIR PROJECTS

1. Planning Guidelines. The guidance and requirements contained in the following are routinely considered during the review/assessment of environmental impact of proposed or ongoing actions aboard Camp Lejeune.

a. Marine Corps Order P11000.8A. Provides Marine Corps policy for the organization/structure of environmental protection and natural resource management programs at Marine Corps installations and guidelines for environmental protection and enhancement.

b. Marine Corps Order 6280.5. Publishes Marine Corps policy and procedures for implementation of the National Environmental Policy Act (NEPA).

c. Base Order 11000.1A. Establishes installation procedures and responsibilities for implementation of National Environmental Policy Act.

d. Base Order 11015.2G. Establishes an installation environment enhancement/impact review board to assist in the implementation of the National Environmental Policy Act.

e. Camp Lejeune Complex Master Plan. Describes physical, social and economic environment at Camp Lejeune. Assesses environmental impact of overall land use program and relocation/upgrading of facilities.

f. Long Range Natural Resource Management Plan. Outlines installation natural resource management program, with emphasis on forestry, wildlife and outdoor recreation.

g. Base Orders 11015.3A, 11015.6 and 11015.7. Implements Federal regulations related to the protection of threatened and endangered species. References applicable regulations.

h. Draft Guidelines for Federal Consistency, March 1979, N.C. Office of Coastal Management. Established procedures to be followed by Federal activities in determining if proposed action is consistent with the following.:

(1) State and local Coastal Management programs and land use Plans.

(2) Coastal Zone Management Act of 1972, PL92-583

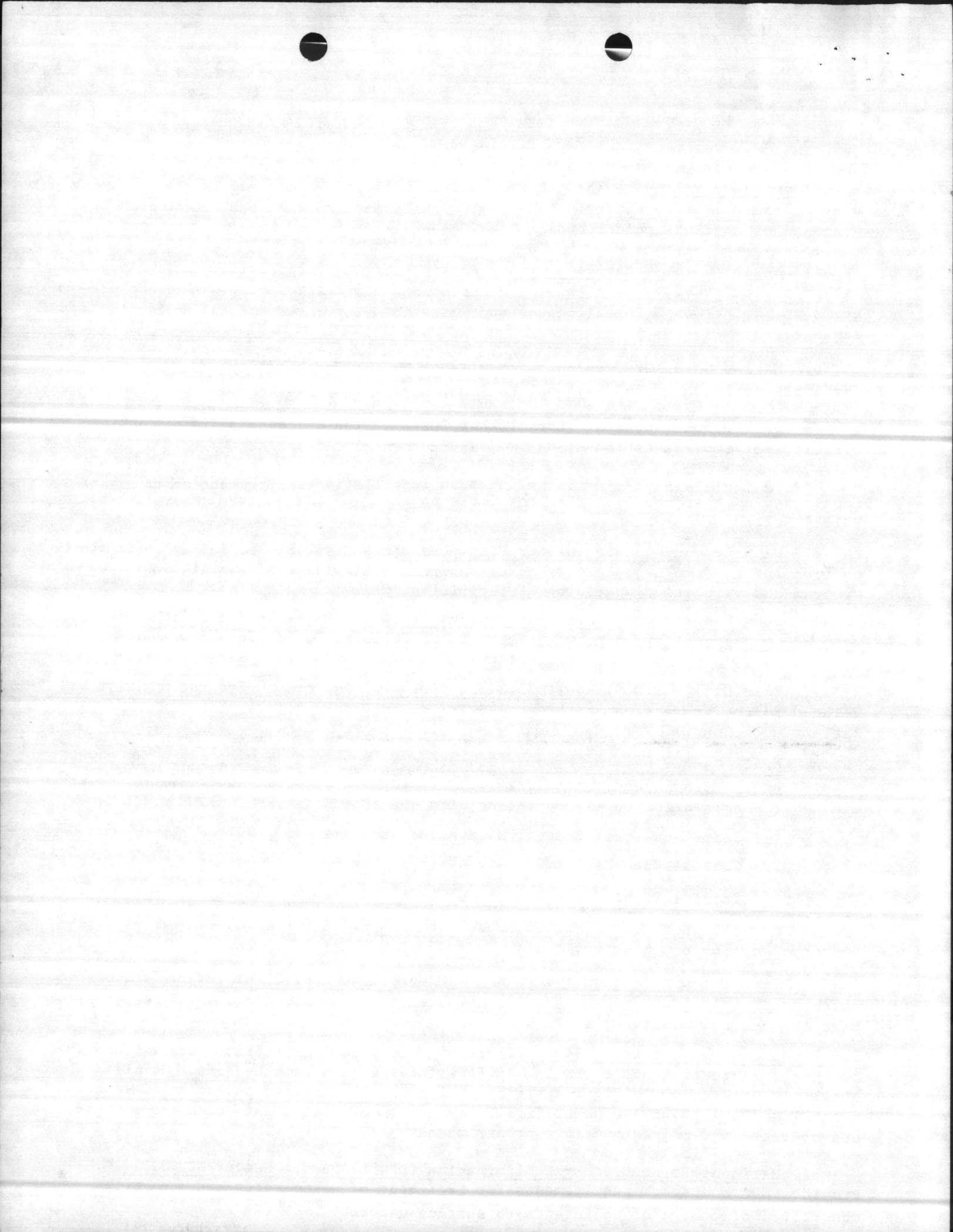
(3) Coastal Zone Management Act of 1974, GS113A-100, etseq.

i. Archeological and Historic Preservation Act. Requires consideration of impact of action on these types of resources.

j. Protection of Wetlands, executive Order 11900. Requires federal agencies wherever practical alternatives are available, to avoid damaging, modifying or carrying out new construction in wetlands.

2. Water and Air Quality: Requirements of the following are incorporated into the design, construction and operation of facilities aboard Camp Lejeune. Cognizant officials are responsible for ensuring that properly designed pollution prevention, control and abatement equipment facilities are incorporated into each project and are operated and maintained in a proper manner.

a. National Point Discharge Elimination (NPDES) Permit Number NC0003239 Provides EPA and state requirements for treatment of waste water and authorizes controlled discharge of pollutants to surface waters.



b. Environmental Protection Agency Forms 8700, 3501-1, and 3510-3. Submission of these forms authorized Base to generate and store hazardous wastes under EPA ID Number NC6170022580.

c. 40 CFR Parts 260-265. Provides EPA and state requirements for the management and disposal of hazardous wastes.

d. North Carolina Administrative Code, Title 15, Chapter 2, Subchapters 2B and 2H. Establishes North Carolina standards and permit requirements for discharge of wastes to surface waters.

e. North Carolina Administrative Code, Title 15, Chapter 2, Subchapter 2C. Establishes State criteria and permit requirements for construction of wells.

f. BO 11090.1B. Provides installation guidelines for oil and hazardous material spill prevention, containment and cleanup. Publishes Base Spill Contingency Plan.

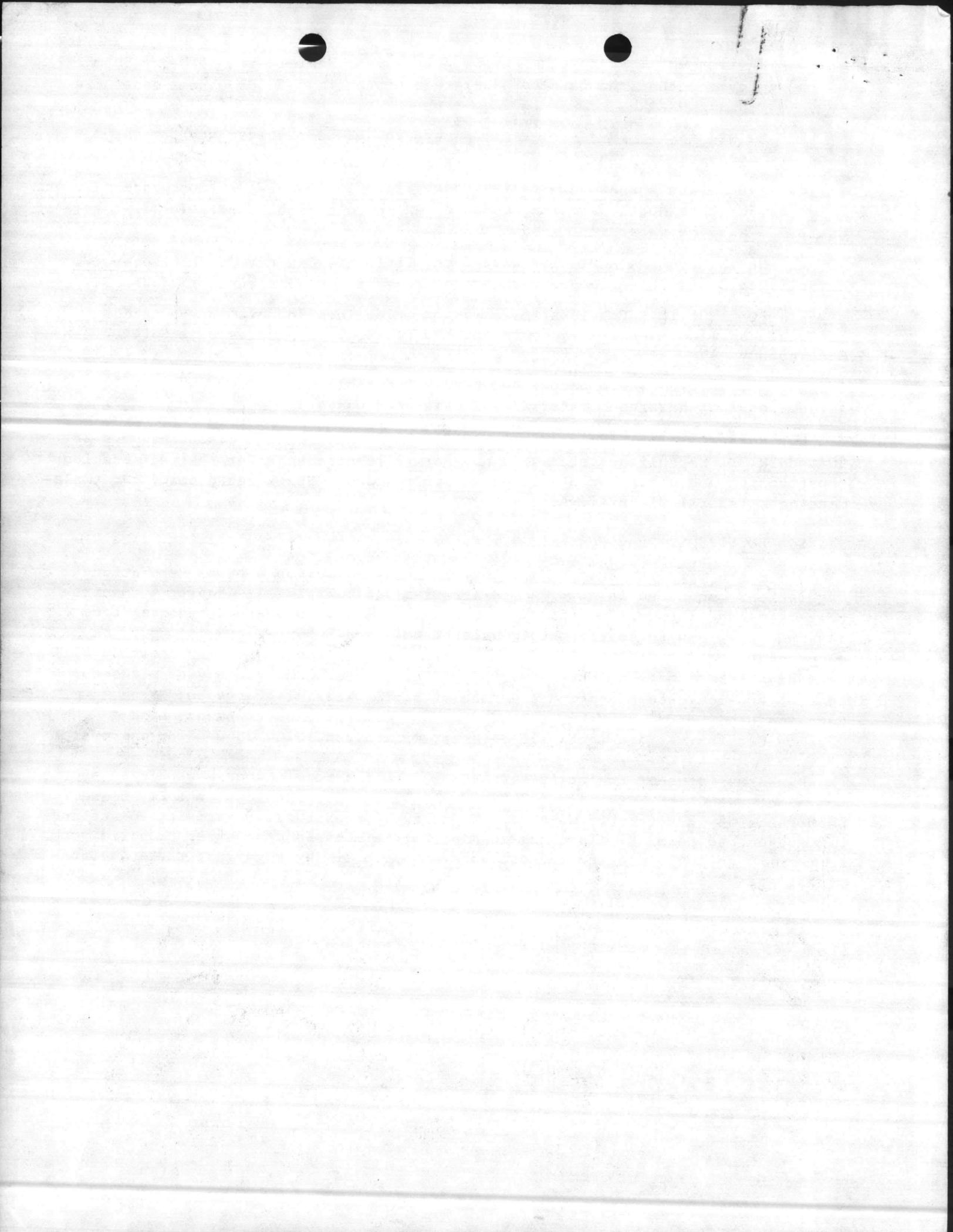
g. MCO 4570.24A, MCO 6280.2, BO 6240.5. Establishes policy and procedures for disposal of hazardous material and hazardous waste.

h. North Carolina Administrative Code, Title 15, Chapter 2, Subchapters 2B, 2D and 2H. Establishes standards and permit requirements for the registration, construction and operation of air pollution sources. State has primacy for implementing Federal Clean Air Act.

i. BO 11350. Provides guidance for disposal of refuse and solid waste.

j. North Carolina Erosion and Sedimentation Pollution Control Regulations. Regulations contained in N. C. Administrative Code, Title 15, Chapter 4 require that means and measures necessary to control erosion, to prevent sediment from leaving site, and to control storm water runoff are incorporated into project plans and specifications. If more than one acre of land disturbing activity will be done at the construction, federal facilities must submit a copy of plans to control erosion, sedimentation and rate of storm water discharge to: North Carolina Department of Natural Resources and Community Development, Land Quality Section; 7225 Wrightsville Avenue; Wilmington, N.C. 28403, for approval.

k. Army Corps of Engineers Permits: Establish regulations pursuant to section 404(b) of the Clean Water Act (33 U.S.C. 1344) and Section 10 of the River and Harbor Act of 1899 (33 U.S.C. 403). Majority of construction activity in wetlands is subject to permits. Issuance of specific permits is done after proposed work is subjected to public review and comment and approval by cognizant state environmental agencies



Regarding P-775

A meeting was held 7 May 1990
by MWR - A study will be prepared
PANDELL, Kerr + Foster ASSOCIATES
to assess feasibility of a Hostess House/
Rec. Lodge at The Beach.

Study will be provided Base in approx
5 weeks.

NAF is looking at 3rd party contract
Problem is utilities + environmental restraints

Peggy Briley

Larry's RDO

Al - assigned to BMO detail

Fred Cone attended meeting also

Steve Thornton - Hostess House type situation
major meeting

I can't see how
all this ~~stuff~~
will be on base
week.

9,425 add'l people.

- ① Rooms only
- ② Conference related demand? - LVH suggested flexible design to provide
- ③ Alternatives to the mtg room - etc - later on Beach will be looked at.

④ ^{on} NE Creek ^{all} ^{disruption} ^{by} ^{LVH} ~~by~~ Hospital x Scouting Area.

⑤ No EA will be provided

50 Room facility

Golf course in close proximity

FACTORS to be incorporated in Study

PANDELL KERR FOSTER

Recreational Site

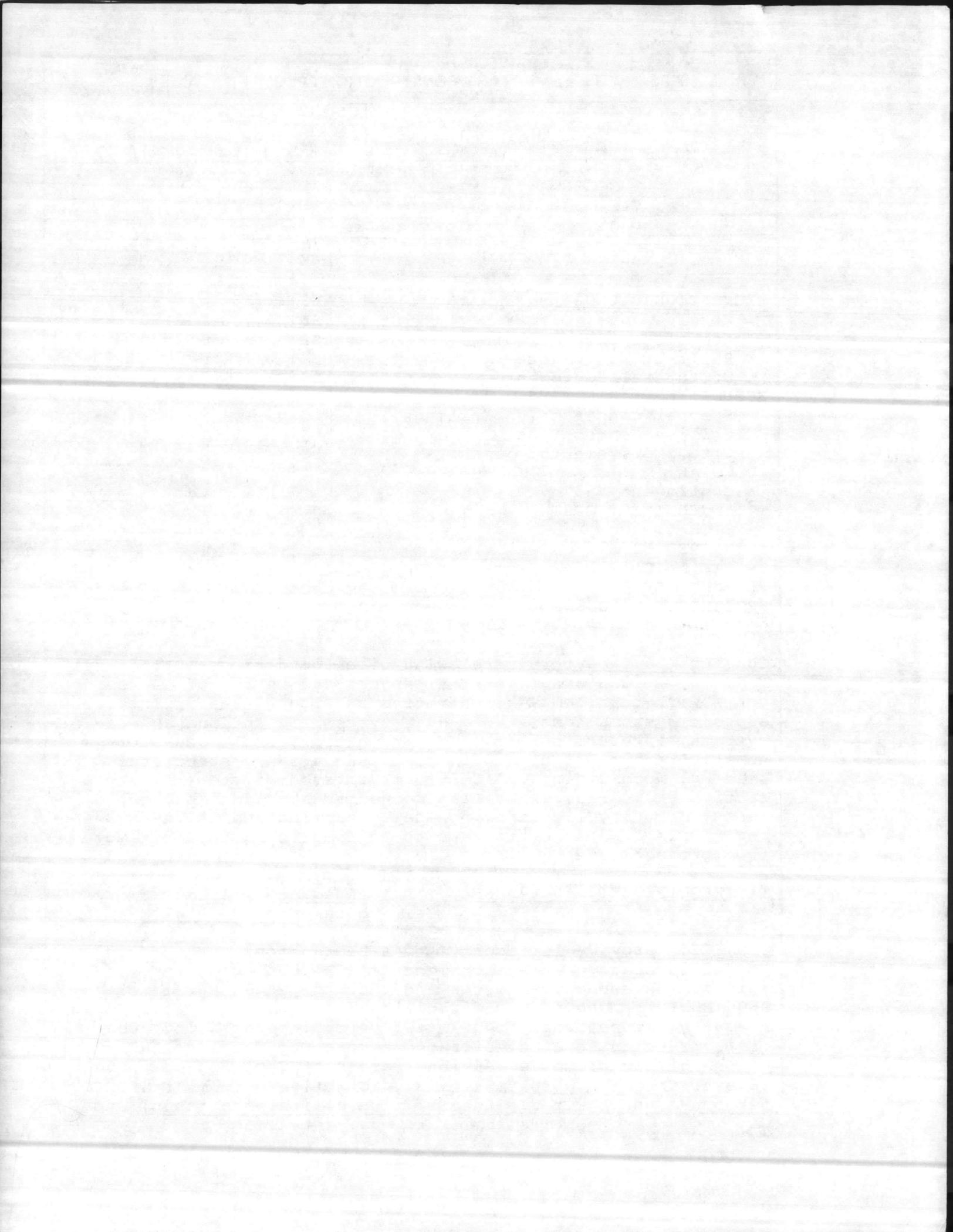
- N - Impact Area
- S - 2d Recon Top Area

- EMD
- Beach Bash
- Mil Ops
- Access Budge
- Utility Upgrade.

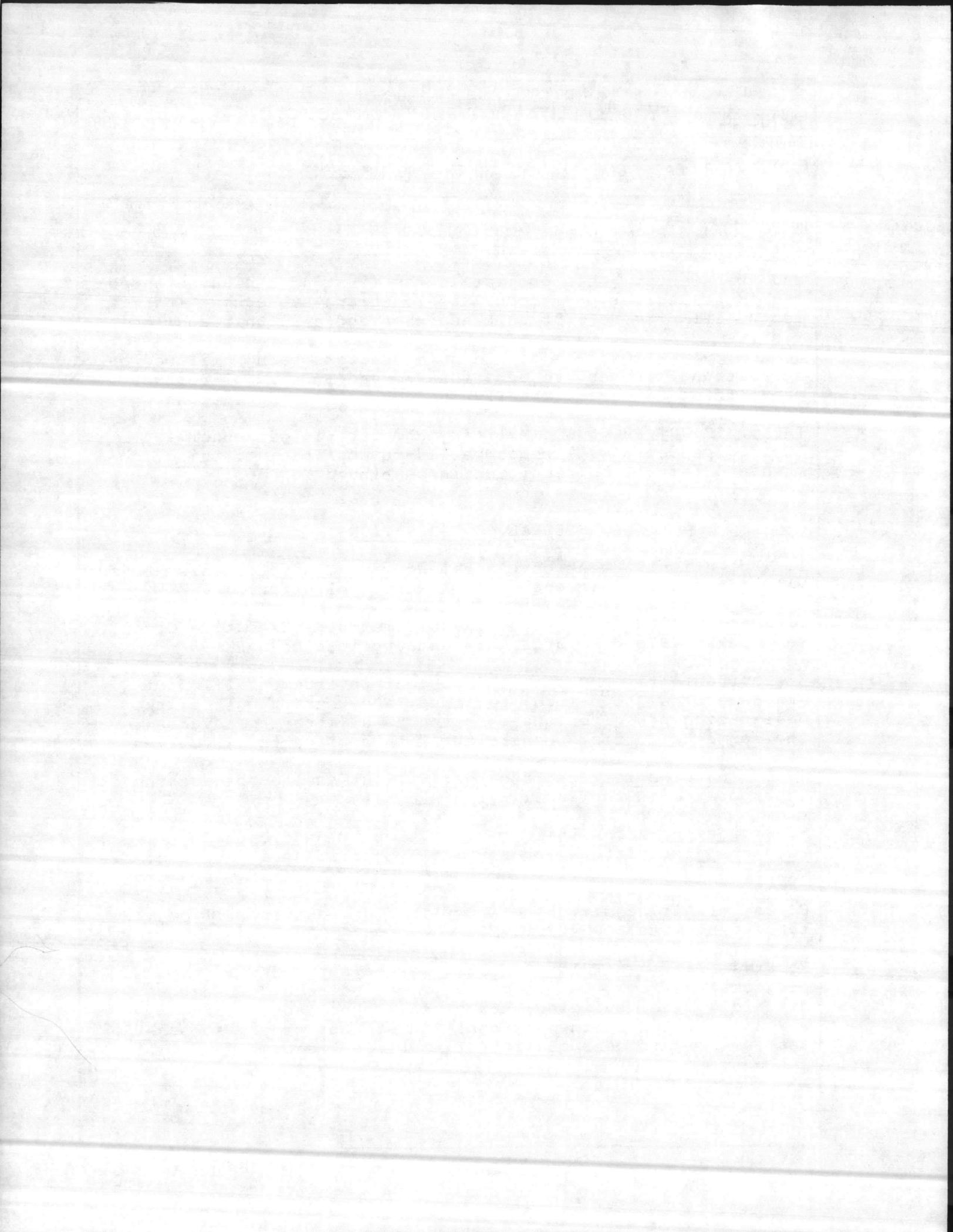
162 Recon PW in Barracks at Beach presently

(4) ^{Base} ~~Reports~~ from Friday - a report of findings will be sent to

1. COMPONENT MARINE CORPS		NAF CONSTRUCTION PROGRAM FY 19 <u>90</u> MILITARY CONSTRUCTION PROJECT DATA		2. DATE 12 May 1986	
3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542			4. PROJECT TITLE RECREATIONAL LODGE/MOTEL (INCREMENT I) ONSLOW BEACH		
5. PROGRAM ELEMENT		6. CATEGORY CODE 740-81	7. PROJECT NUMBER P-775	8. PROJECT COST (\$000) 1,550	
9. COST ESTIMATES					
ITEM		U/M	QUANTITY	UNIT COST	COST (\$000)
RECREATIONAL LODGE/MOTEL		SF	11,334		1,000.0
Motel		SF	9,738	53.50	(521.0)
Administration Building		SF	1,596	53.50	(85.0)
Built-In Equipment					(250.0)
Collateral Equipment		LS			(144.0)
SUPPORTING FACILITIES					260.0
Special construction (pilings)		AC			(110.0)
Utility Connections		LS			(90.0)
Site Improvements		LS			(60.0)
SUBTOTAL		-			1,260.0
Contingency 5%					63.0
TOTAL CONTRACT COST					1,323.0
SIOH 5.5%					73.0
TOTAL REQUEST					1,396.0
Design Cost 12%					167.0
PROJECT COST					1,563.0
PROJECT COST ROUNDED					1,550.0
10. DESCRIPTION OF PROPOSED CONSTRUCTION					
<p>Construct a two-story motel with pile foundations, structural framing, wood siding; internal spaces consisting of 24 bedrooms units with bathrooms, kitchenettes and lounge areas. Interior support systems consist of: HVAC system, TV antenna and cable systems, intercom system, fire protection, etc. One-story Administrative building with pile foundations, structural framing, wood siding, HVAC system, intercom system, fire protection etc. Provide utility connections, site improvements, security lighting, non-paved parking and drives. Existing. Existing house trailers to be demolished and/or removed from project site.</p>					
<p>11. <u>REQUIREMENT: 66,640 SF</u> <u>Adequate: 4,060 SF</u> <u>Substandard: 26,990 SF</u></p> <p><u>PROJECT:</u> Provide Increment I of a Recreational Lodge/Motel on Onslow Beach. This increment will be set aside for enlisted personnel, retirees and their dependents.</p> <p><u>REQUIREMENT:</u> The proposed facility is required to provide an adequate recreational lodge/motel to replace existing house trailers which have deteriorated beyond repair. Onslow Beach is one of the prime recreational areas of Camp Lejeune which is available to approximately 37,400 active duty military personnel and their dependents, plus military retirees, local</p>					



1. COMPONENT MARINE CORPS	NAF CONSTRUCTION PROGRAM FY 19 ⁹⁰ MILITARY CONSTRUCTION PROJECT DATA	2. DATE 12 May 1986
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, (INCREMENT I) ONSLOW BEACH		5. PROJECT NUMBER P-775
<p>and transients. This project is the first of a planned three increment Recreational Lodge/Motel. Future subsequent increments will provide a 32 unit addition and a 24 unit addition.</p> <p><u>CURRENT SITUATION:</u> The mobile home trailers being utilized as recreational lodges are deteriorated and in need of replacement. These units are totally inadequate for recreational lodging.</p> <p><u>IMPACT IF NOT PROVIDED:</u> Military and retired personnel and their dependents will be compelled to continue utilizing sub-standard facilities resulting in continued low morale.</p> <p style="text-align: center;"><u>SPECIAL CONSIDERATIONS</u></p> <ol style="list-style-type: none"> 1. <u>Pollution Prevention, Abatement, and Control:</u> This project will not cause additional air or water pollution. 2. <u>Flood Hazard Evaluation:</u> Requirements of Executive Order No. 11296 (Flood Hazards) are not applicable. 3. <u>Environmental Impact:</u> The project Environmental Impact Assessment has been made, reviewed, and where required, the design concepts give consideration to eliminating adverse environmental effects consistent with applicable directives. 4. <u>Fallout Shelter Construction:</u> Fallout shelter protection is incorporated in the facility. 5. <u>Design for Accessibility of Physically Handicapped Personnel:</u> Provisions for physically handicapped personnel are required in this facility. 6. <u>Use of Air Conditioning:</u> Ceiling "U" factors will be made to conform with DOD 4270.1-M. 7. <u>Preservation of Historical Sites and Structures:</u> The project facility does not directly or indirectly affect a district, site, building, structure, object, or setting which is listed in the National Register or otherwise possesses a significant quality of American history. 		



COST ESTIMATE

DATE PREPARED
12 May 1986

SHEET 1 OF 1

ACTIVITY AND LOCATION

MARINE CORPS BASE
CAMP LEJEUNE, NORTH CAROLINA 28542

CONSTRUCTION CONTRACT NO.

IDENTIFICATION NUMBER

P-775

ESTIMATED BY

W. L. BRANT

CATEGORY CODE NUMBER

740-81

PROJECT TITLE

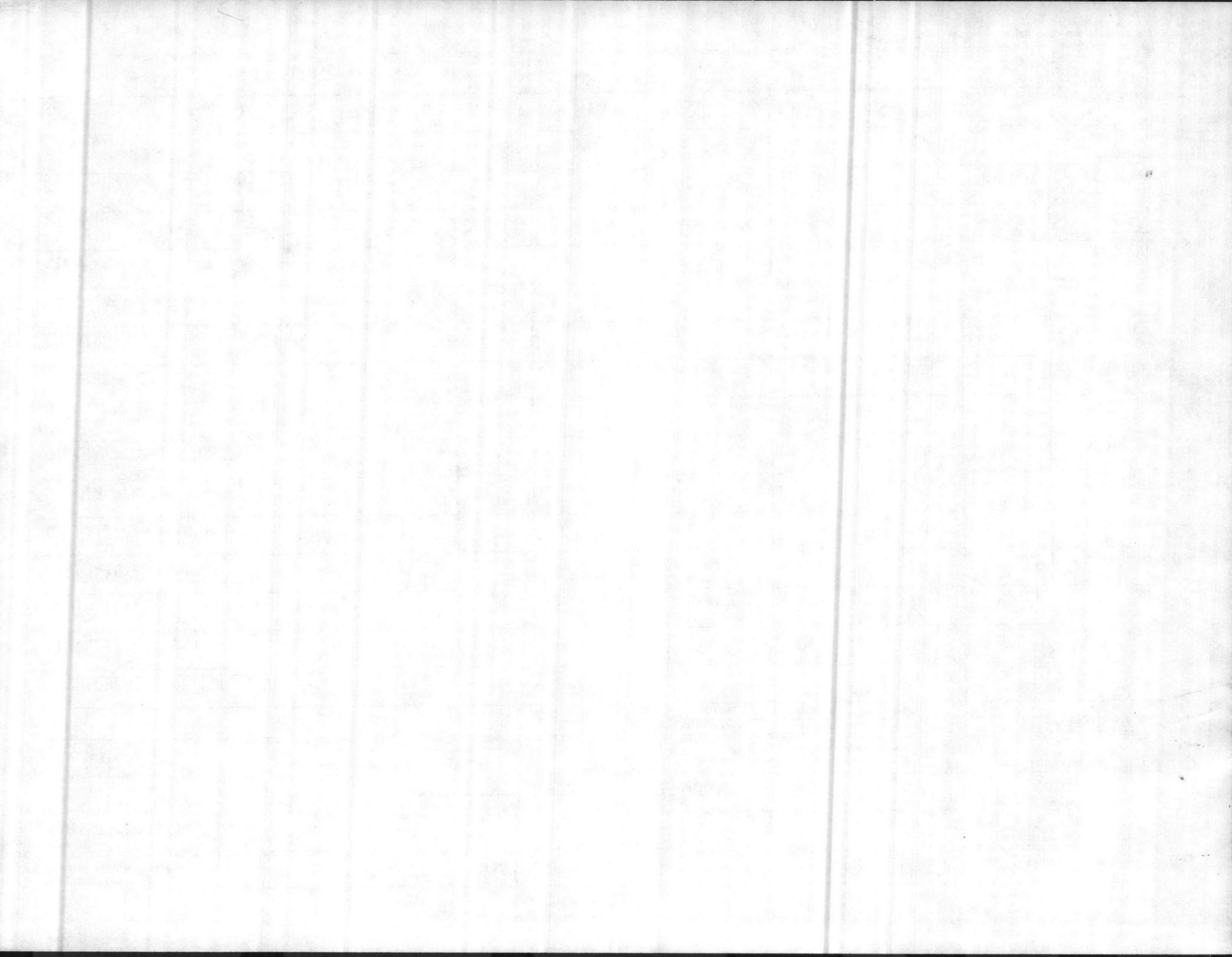
RECREATIONAL LODGE/MOTEL (INCREMENT 1)
ONSLow BEACH AREA

STATUS OF DESIGN

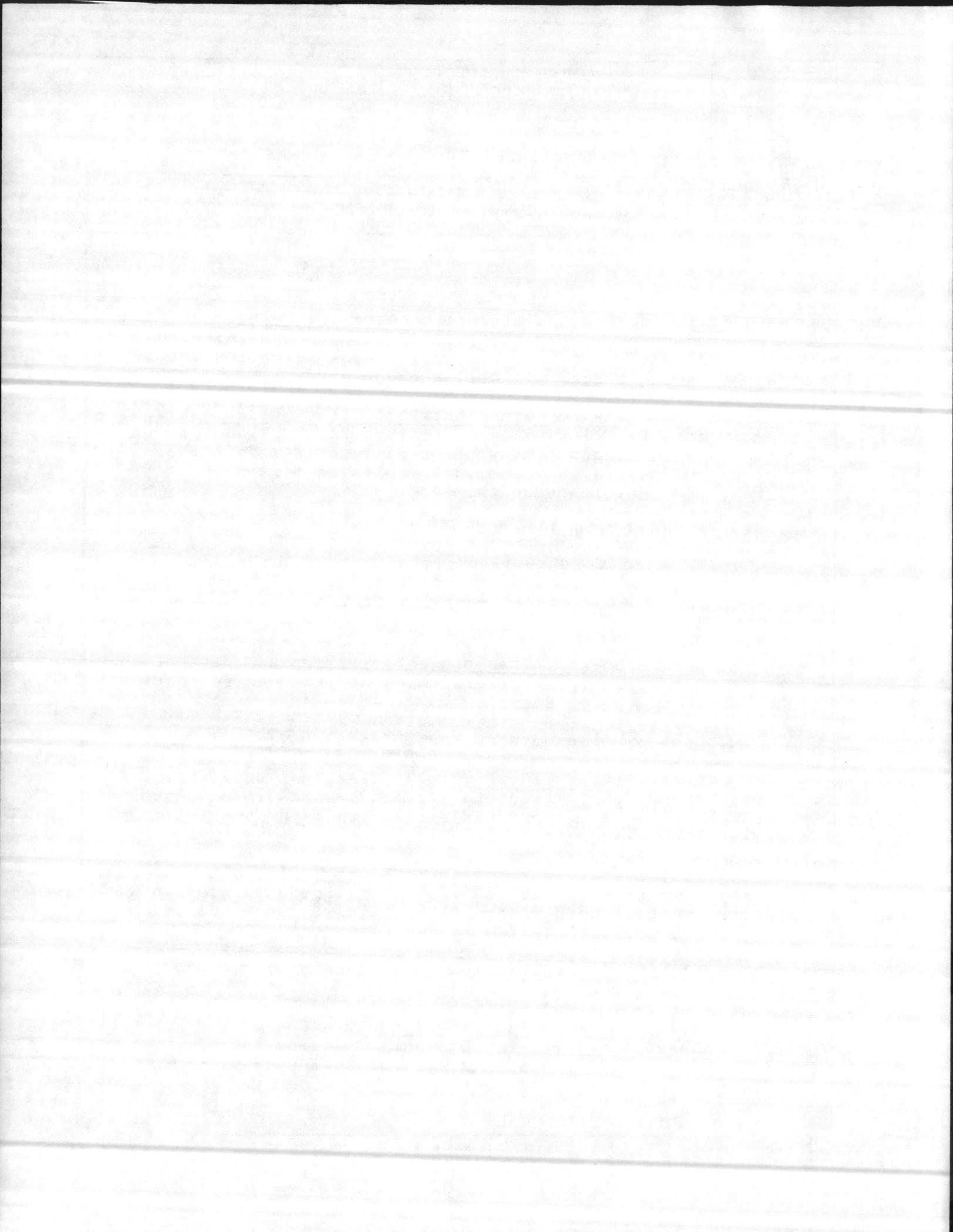
PED 30% 100% FINAL Other (Specify) Project

JOB ORDER NUMBER

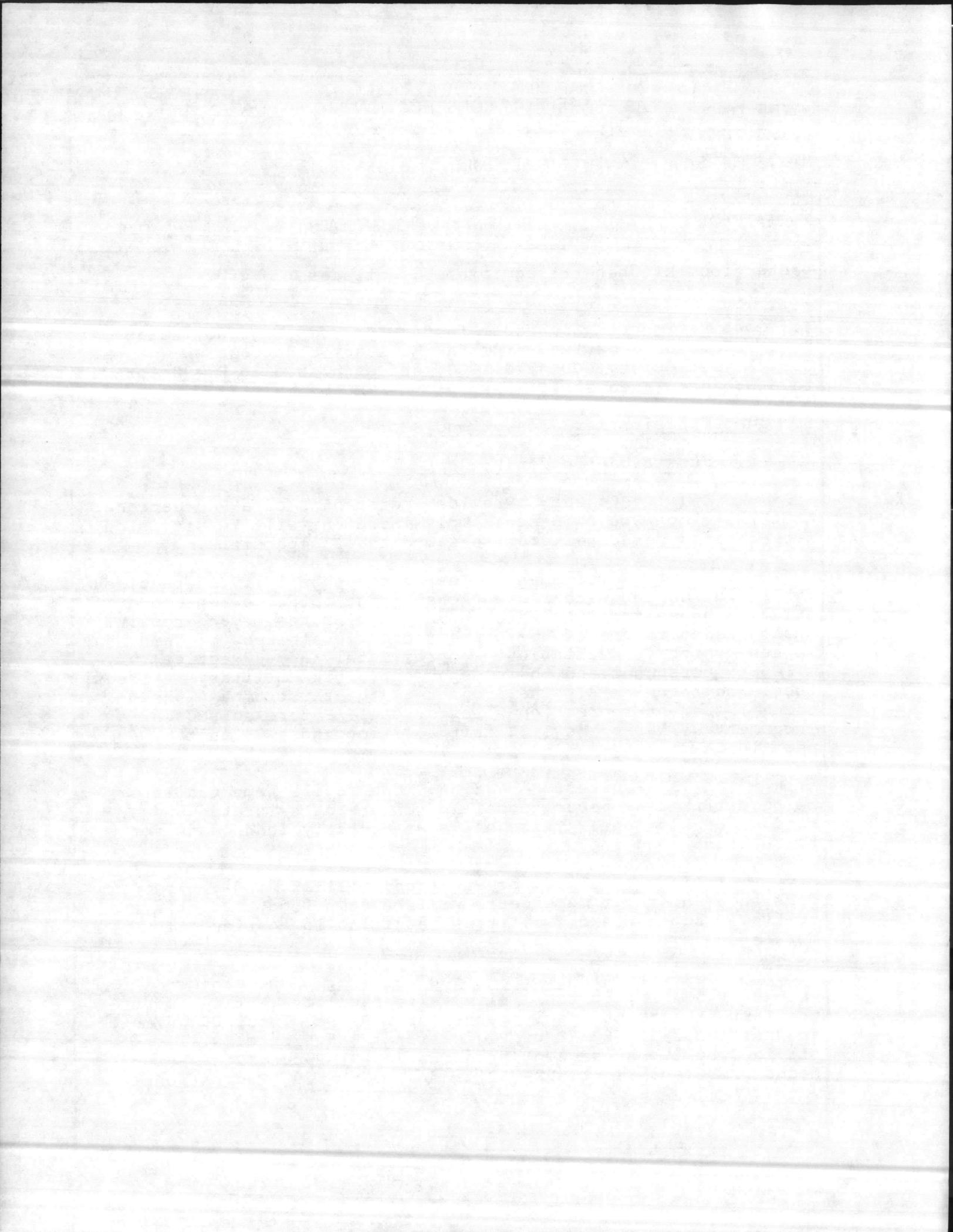
ITEM DESCRIPTION	QUANTITY		MATERIAL COST		LABOR COST		ENGINEERING ESTIMATE	
	NUMBER	UNIT	UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL
<u>RECREATIONAL LODGE/MOTEL:</u>								
MOTEL (24 Units)	9,738	SF					53.50	520,983
ADMIN BUILDING	1,596	SF					53.50	85,386
BUILT-IN EQUIPMENT								250,000
COLLATERAL EQUIPMENT								144,000
SPECIAL FOUNDATIONS (PILINGS)								110,000
UTILITY CONNECTIONS								90,000
SITE IMPROVMENTS								60,000
SUBTOTAL								1,260,369
CONTINGENCY - 5%								63,018
TOTAL CONTRACT COST								1,323,387
SIQH - 5.5%								72,786
TOTAL REQUEST								1,396,173
DESIGN COST 12%								167,540
PROJECT COST								1,563,713
PROJECT COST (ROUNDED)								1,550,000



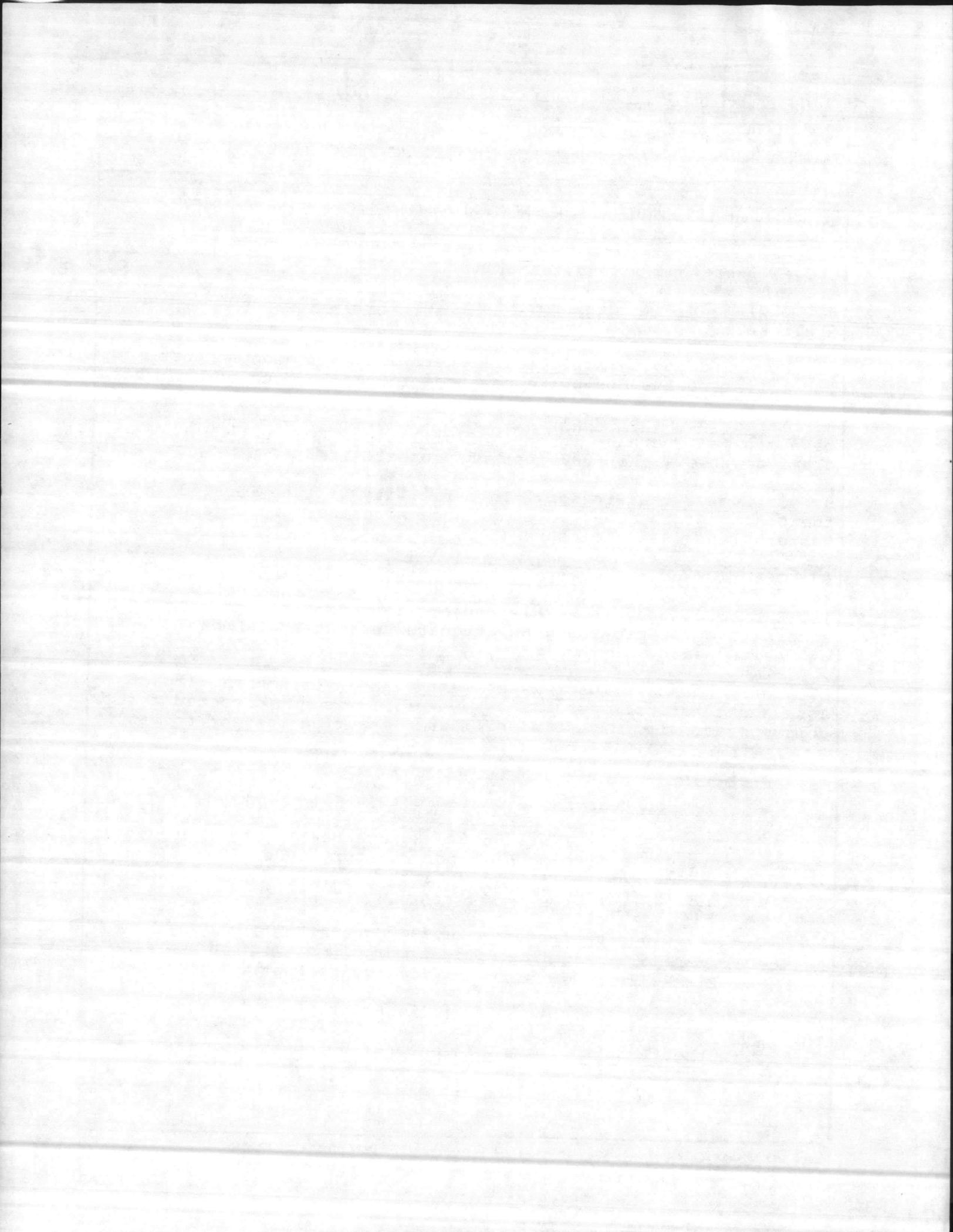
1. COMPONENT MARINE CORPS	NAF CONSTRUCTION PROGRAM FY 19 ⁹⁰ MILITARY CONSTRUCTION PROJECT DATA	2. DATE 12 May 1986
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, (INCREMENT I) ONSLOW BEACH	5. PROJECT NUMBER P-775	
<p style="text-align: center;"><u>FACILITY STUDY</u></p> <p>1. <u>Project:</u> Provide the first increment (24 bedroom units) of a planned three increment Recreational Lodge/Motel with a total of 80 bedroom units. Provide an Administrative building with vending areas, offices, storage etc.</p> <p>2. <u>Current and Planned Future Workload With Regard to this Project:</u> This facility will be utilized 24 hours daily, seven days a week, and the duration of need is indefinite. The proposed units will accommodate enlisted personnel, retirees, and their dependents.</p> <p>3. <u>Description of Construction.</u></p> <p style="padding-left: 40px;">a. <u>Type of Construction:</u> Permanent two story and one story buildings with structural framing, pile foundations, wood siding, carpet, interior-support systems and utility connections.</p> <p style="padding-left: 40px;">b. <u>Replacement:</u> This project will replace part of the 23 existing mobile home trailers being utilized as recreational lodges/motel at Onslow Beach.</p> <p style="padding-left: 40px;">c. <u>Description of Work to be Done:</u></p> <p style="padding-left: 80px;">(1) <u>Primary Facility:</u> Recreational Lodge/Motel with pile foundation, structural framing, wood siding; internal spaces consisting of 24 bedroom units with bathrooms, kitchenettes and lounge areas.</p> <p style="padding-left: 80px;">(2) <u>Energy Conservation:</u> Energy efficient equipment and building orientation will be utilized. The design will be responsive to requirements of Executive Order 12003 of 20 July 1977, and implemented by NAVFACINST 4100.5A</p> <p style="padding-left: 80px;">(3) <u>Collateral Equipment:</u> To be provided by separate correspondence.</p> <p style="padding-left: 80px;">(4) <u>Supporting Facilities:</u> Pile foundations, utility connections, site improvements, parking and drives interior systems (i.e. HVAC system, intercom system, fire</p>		



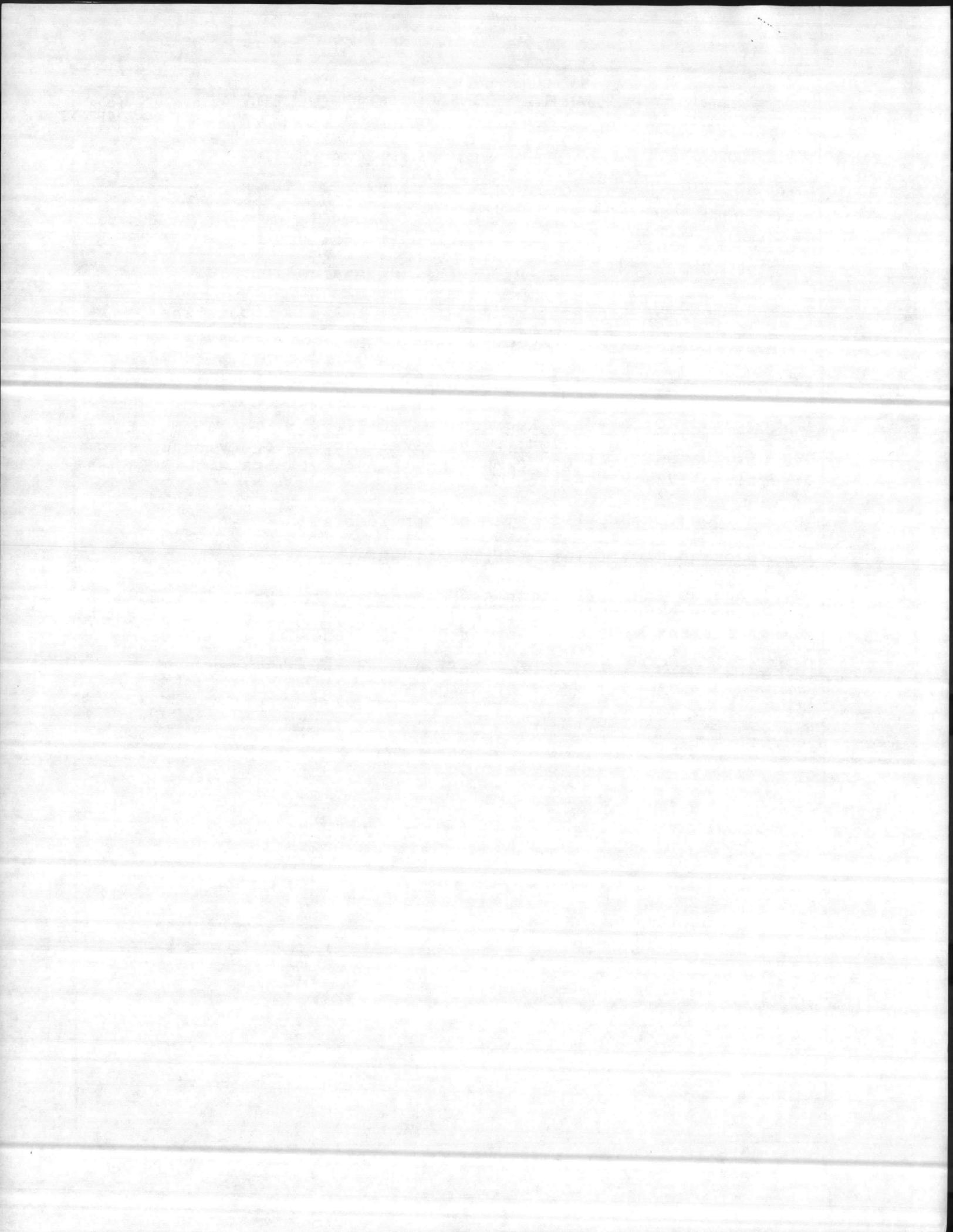
1. COMPONENT MARINE CORPS	NAF CONSTRUCTION PROGRAM FY 19 ⁹⁰ MILITARY CONSTRUCTION PROJECT DATA	2. DATE 12 May 1986
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542		
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<p>protection, kitchenette equipmenmt, collateral equipment, etc.</p> <p>4. <u>Cost Estimate:</u> Area cost factor for Camp Lejeune, NC is 0.86. Cost data derived from the Military Construction Cost Review Guide, DOD 4270.1-CG, and escalated to FY-90 for this project. (see encl. (1))</p> <p>5. <u>Justification for Project and Scope of Project:</u></p> <p>a. <u>Justification for Project.</u></p> <p>(1) <u>Project:</u> Provide Increment I of a Recreational Lodge/Motel on Onslow Beach. This increment will be set aside for enlisted personnel, retirees and their dependents.</p> <p>(2) <u>Requirement:</u> The proposed facility is required to provide an adequate recreational lodge/motel to replace existing house trailers which have deteriorated beyond repair. Onslow Beach is one of the prime recreational areas of Camp Lejeune which is available to approximately 37,400 active duty military personnel and their dependents, plus military retirees, local and transients. The project is the first of a planned three increment recreational lodge/motel. Future subsequent increment will provide a 32 unit addition and a 24 unit addition.</p> <p>(3) <u>Current Situation:</u> The mobile home trailers being utilized as recreational lodges are deteriorated and in need of replacement. These units are totally inadequate for recreational lodging.</p> <p>(4) <u>Impact if not Provided:</u> Military and retired personnel and their dependents will be compelled to continue utilizing substandard facilities resulting in continued low morale.</p> <p>b. <u>Justification for Scope of Project:</u> The project scope (11,334 SF) is the minimum size facility that can meet the first increment requirements for a Recreational Lodge/Motel. An additional 22,722 SF of Recreational Lodge/Motel will be provided by two subsequent projects (FY-91 P-876, Recreational Lodge Increment II (12,984 SF) and FY-92 P-879, Recreational</p>		

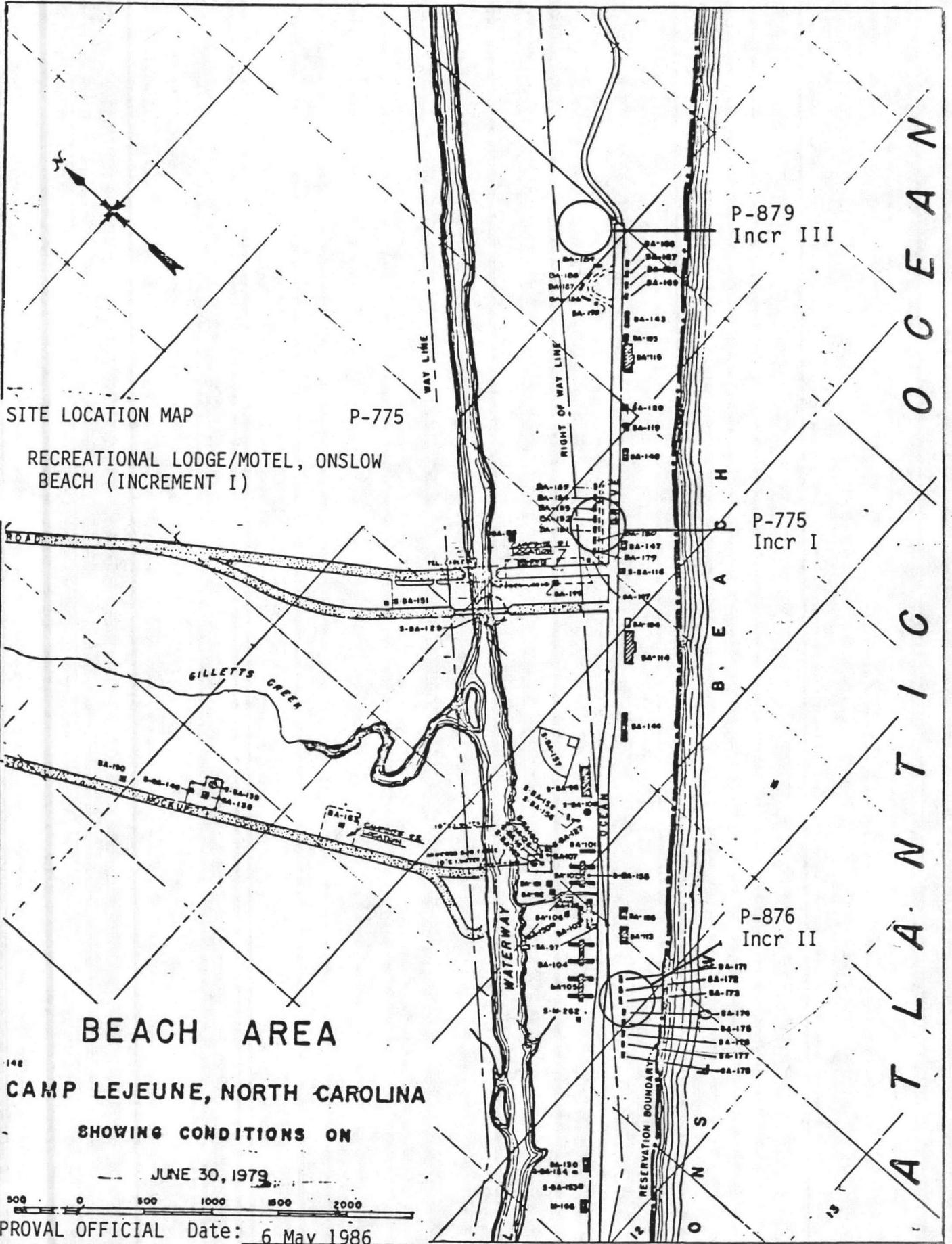


1. COMPONENT MARINE CORPS	NAF CONSTRUCTION PROGRAM FY 19 <u>90</u> MILITARY CONSTRUCTION PROJECT DATA	2. DATE 12 May 1986
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, (INCREMENT I) ONSLOW BEACH	5. PROJECT NUMBER P-775	
<p>Lodge, Increment III (9,738 SF)).</p> <p>6. <u>Equipment Provided From Other Appropriations:</u> Not applicable.</p> <p>7. <u>Common Support Facilities:</u> There are no common support facilities in the Onslow Beach area of Camp Lejeune.</p> <p>8. <u>Effect on Other Resources:</u> It is expected that there will be a minimal increase in cost of utilities. Adequate utilities are available within 300 feet of project site.</p> <p>9. <u>Siting of the Project:</u> This facility will be located in the Onslow Beach area, in compliance with the Camp Lejeune Master Plan. (See enclosure (2)).</p> <p>10. <u>Other Graphic Presentations, including Photographs:</u> None.</p> <p>11. <u>Economic Analysis:</u> This project is deemed as the only alternative for providing an adequate Recreational Lodge at Onslow Beach.</p> <p>12. <u>Environmental Impact Assessment:</u> An Environmental Impact Assessment has not been made, however, it is not expected that this project will have a significant impact on the environment.</p> <p>13. <u>Quantitative Data:</u></p> <p>a. <u>Unit of Measure:</u> Square Feet.</p> <p>b. <u>Total Requirement:</u> 66,640 Square Feet. The approved Basic Facility Requirement List for category code 740-81 (Recreational Lodge/Motel), is 66,640 SF for the Basewide Miscellaneous Area (KA) of Camp Lejeune.</p> <p>c. <u>Existing Substandard:</u> 26,990 Square Feet.</p> <p>d. <u>Existing Inadequate:</u> 4,716 Square Feet.</p> <p>e. <u>Existing Adequate:</u> 4,060 Square Feet.</p> <p>f. <u>Other Assets, Not in Inventory:</u> 0 Square Feet.</p>		



1. COMPONENT MARINE CORPS	NAF CONSTRUCTION PROGRAM FY 19 ⁹⁰ MILITARY CONSTRUCTION PROJECT DATA	2. DATE 12 May 1986
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, (INCREMENT I) ONSLOW BEACH	5. PROJECT NUMBER P-775	
<p>g. <u>Funded, not in Inventory:</u> 0 Square Feet.</p> <p>h. <u>Adequate Assets:</u> (e + f + g) = 4,060 Square Feet.</p> <p>i. <u>Deficiency:</u> (b - h) = 62,580 Square Feet.</p> <p>14. <u>Maintenance Facility:</u> Not applicable.</p> <p>15. <u>Morale, Welfare and Recreation Facilities:</u> The approved Basic Facility Requirement of 66,640 SF for category code 740-81 (Recreational Lodge/Motel) is in accordance with DOD Directive 4270.1M, Section 3.8.</p> <p>16. <u>Relocation Facilities:</u> Not applicable.</p> <p>17. <u>Storage Facilities:</u> Not applicable.</p> <p>18. <u>Hazards Identification Assessment and Analysis:</u> Proposed facility will be a Recreational Lodge/Motel. Potential hazardous conditions will be considered during the design phase.</p>		





SITE LOCATION MAP

P-775

RECREATIONAL LODGE/MOTEL, ONSLOW BEACH (INCREMENT I)

P-879
Incr III

P-775
Incr I

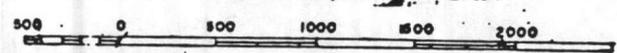
P-876
Incr II

BEACH AREA

CAMP LEJEUNE, NORTH CAROLINA

SHOWING CONDITIONS ON

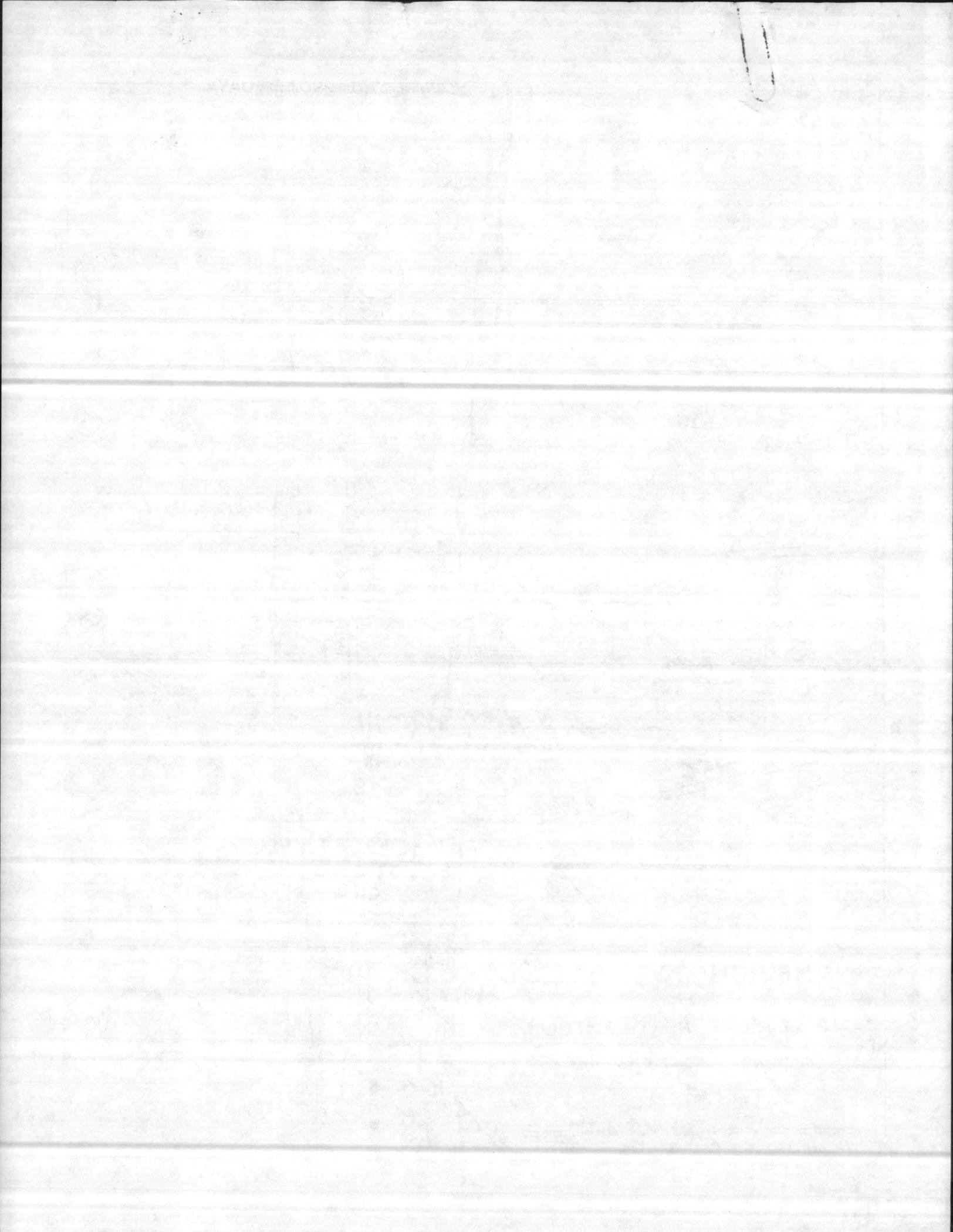
JUNE 30, 1979



APPROVAL OFFICIAL Date: 6 May 1986

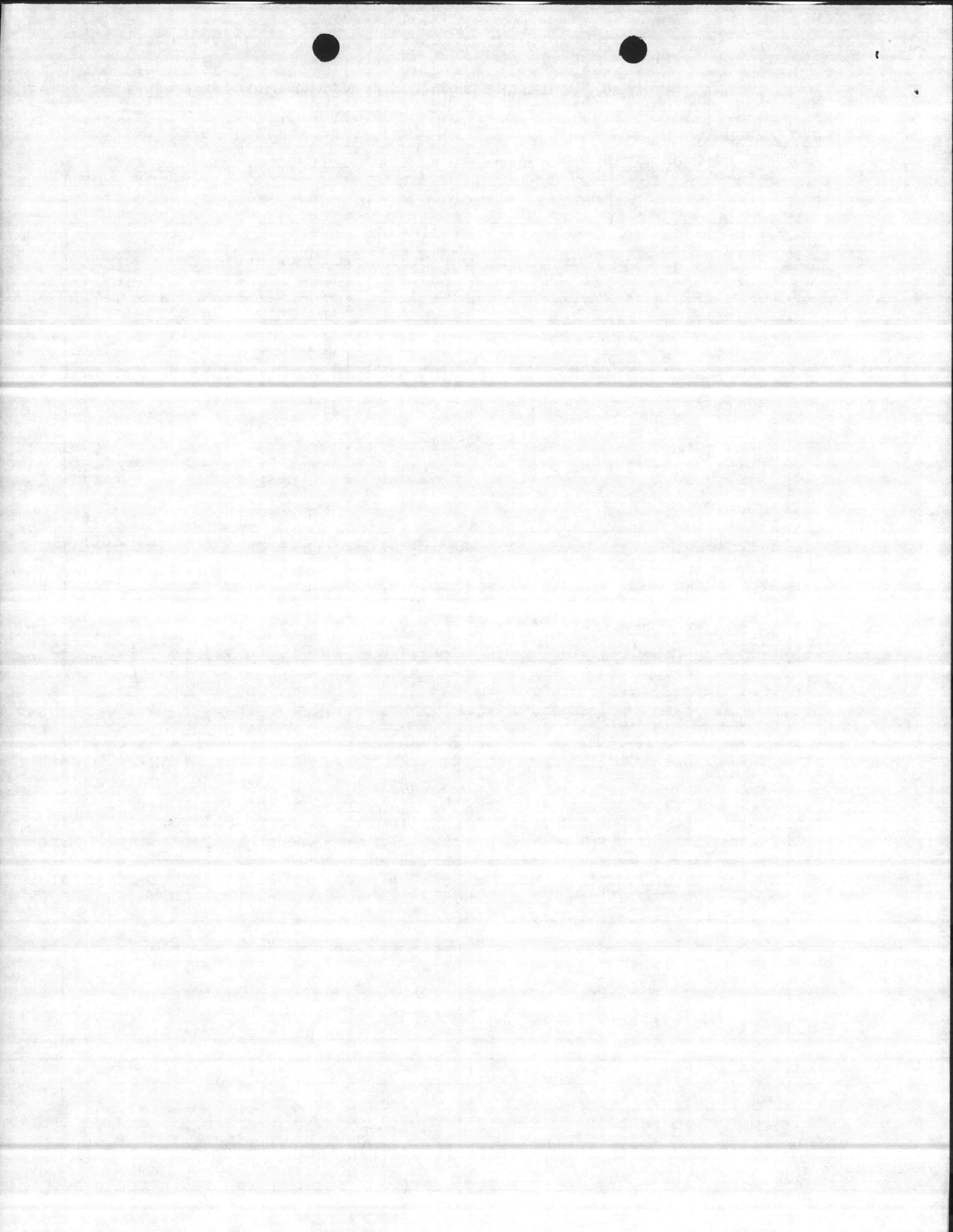
PA. T. T. T.

P. A. TIEROUT By direction

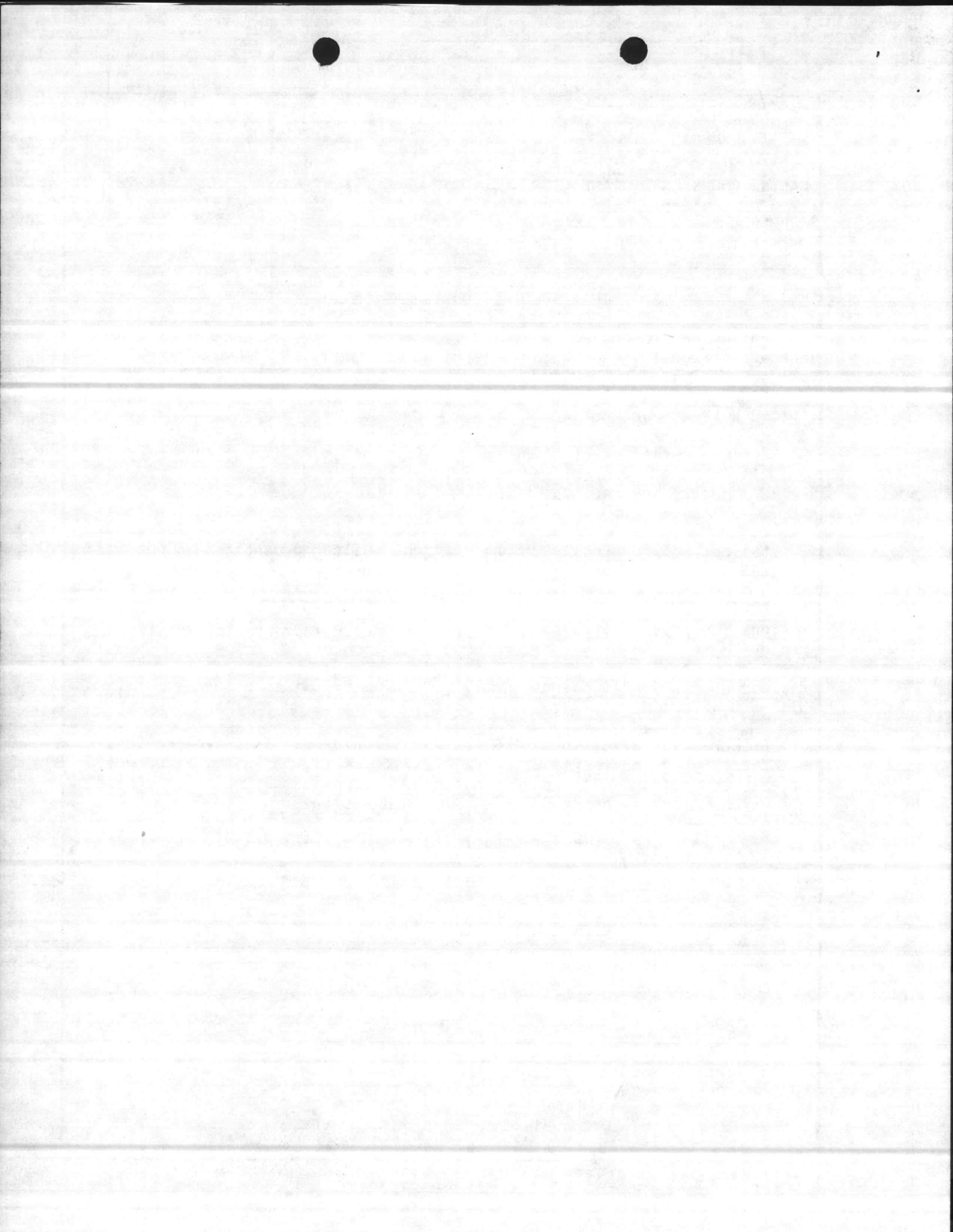


NONAPPROPRIATED FUNDS
RECREATION CONSTRUCTION PROGRAM

1. COMPONENT MARINE CORPS	FY 19 90 MILITARY CONSTRUCTION PROJECT DATA			2. DATE 15 Apr 85
3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542		4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, ONSLow BEACH AREA		
5. PROGRAM ELEMENT	6. CATEGORY CODE 740-81	7. PROJECT NUMBER P-775	8. PROJECT COST (\$000) 4,300	
9. COST ESTIMATES				
ESCALATED TO APRIL 1990				
ITEM	U/M	QUANTITY	UNIT COST	COST (\$000)
RECREATIONAL LODGE/MOTEL	SF	34,056	67.80	3,186
MOTEL UNITS	SF	32,460	51.02	(2,285)
ADMINISTRATIVE BLDG	SF	1,596	50.75	(112)
BUILT-IN EQUIPMENT	LS	-	-	(717)
SOLAR HOT WATER SYSTEM	LS	-	-	(72)
SUPPORTING FACILITIES	LS	-	-	460
SPECIAL CONSTRUCTION FEATURES	LS	-	-	(125)
UTILITIES	LS	-	-	(167)
SITE IMPROVEMENTS	LS	-	-	(168)
SUBTOTAL	LS	-	-	3,646
CONTINGENCY - 5%	LS	-	-	182
TOTAL CONTRACT COST	LS	-	-	3,828
SUPERVISION, INSPECTION & OVERHEAD - 5.5%	LS	-	-	211
TOTAL REQUEST	LS	-	-	4,039
EQUIPMENT PROVIDED FROM OTHER APPROPRIATIONS	-	-	-	-
A&E SERVICE (6%)	LS	-	-	242
PROJECT COST (ROUNDED)	LS	-	-	4,300
10. DESCRIPTION OF PROPOSED CONSTRUCTION				
Two-story frame buildings, wood siding, pile foundations, bedroom units with bathroom, kitchenette and lounge area. One-story frame building, wood siding, pile foundation Administrative Building. Provide all required exterior/interior utilities, site improvements and demolition.				
11. REQUIREMENTS: 66,640 SF, Adequate: 0 SF, Substandard: 32,584 SF				
PROJECT: Provide a multi-unit recreational lodge/motel with administrative office on Onslow Beach. (Total of 80 units divided into three buildings.)				
REQUIREMENTS: A facility is needed to replace 23 mobile home trailers and other substandard facilities being utilized as recreational lodges.				
CURRENT SITUATION: The mobile home trailers are deteriorated and rusted out and the other facilities are in need of repair.				
IMPACT IF NOT PROVIDED: Military and retired personnel and their dependents will be compelled to continue utilizing substandard facilities resulting in continued low morale.				
EGJ				



1. COMPONENT MARINE CORPS	FY 19 90 ⁹¹ MILITARY CONSTRUCTION PROJECT DATA	2. DATE 15 Apr 85
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, ONSLOW BEACH AREA	5. PROJECT NUMBER P-775	
<p style="text-align: center;"><u>SPECIAL CONSIDERATIONS</u></p> <ol style="list-style-type: none"> 1. <u>Pollution Prevention, Abatement, and Control:</u> This project will not cause additional air or water pollution. 2. <u>Flood Hazard Evaluation:</u> Requirements of Executive Order No. 11296 (Flood Hazards) are not applicable. 3. <u>Environmental Impact:</u> The project Environmental Impact Assessment will be written and processed through the local EIA Review Board. No significant adverse impact is anticipated. 4. <u>Fallout Shelter Construction:</u> Fallout shelter protection is not incorporated in this project. 5. <u>Design for Accessibility of Physically Handicapped Personnel:</u> Provisions for physically handicapped personnel are incorporated in this project. 6. <u>Use of Air Conditioning:</u> Ceiling "U" factors will be made to conform WITH DOD 4270.1-M. 7. <u>Preservation of Historical Sites and Structures:</u> This project does not directly or indirectly affect a district, site, building, structure, object, or setting which is listed in the National Register or otherwise possesses a significant quality of American history. 8. <u>"New Start" Criteria for Commercial or Industrial Activities Program (OMB Circular A-76):</u> Not applicable. 		



1. COMPONENT MARINE CORPS	FY 1980 MILITARY CONSTRUCTION PROJECT DATA	2. DATE 15 Apr 85
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL ONslow BEACH AREA	5. PROJECT NUMBER P-775	

FACILITY STUDY

1. PROJECT: Provide a 34,056 SF, multi-unit recreational lodge/motel/admin complex complete with vending space, interior/exterior utilities, special construction features, and site improvements.

2. CURRENT AND PLANNED FUTURE WORKLOAD WITH REGARDS TO THIS PROJECT: The facility will be utilized 24 hours daily, seven days a week and the duration of need is indefinite. The proposed units will accommodate military, retired personnel and dependents.

3. DESCRIPTION OF PROPOSED CONSTRUCTION:

a. Type of Construction:

(1) Permanent two-story wood frame building, wood siding, carpet, pile foundation, built-up roof, insulation, interior utilities and appliances.

(2) Lighting, exterior utilities, site improvements, etc.

b. Replacements: This project will replace Trailers (BA-189), (BA-188), (BA-186), (BA-184), (BA-183), (BA-181), and (BA-180). The trailers were put on site in 1972 and 1973 and are in poor condition, deteriorated and rusted out.

c. Description of Work to be Done:

(1) Primary Facility: Two-story wood frame building on pile foundation.

(a) Support Facilities: Lighting, utilities and site improvement.

(2) Energy Conservation: Energy efficient equipment and building orientation for maximum energy conservation will be used.

(3) Collateral Equipment:

(a) Built-in: Project Funded:

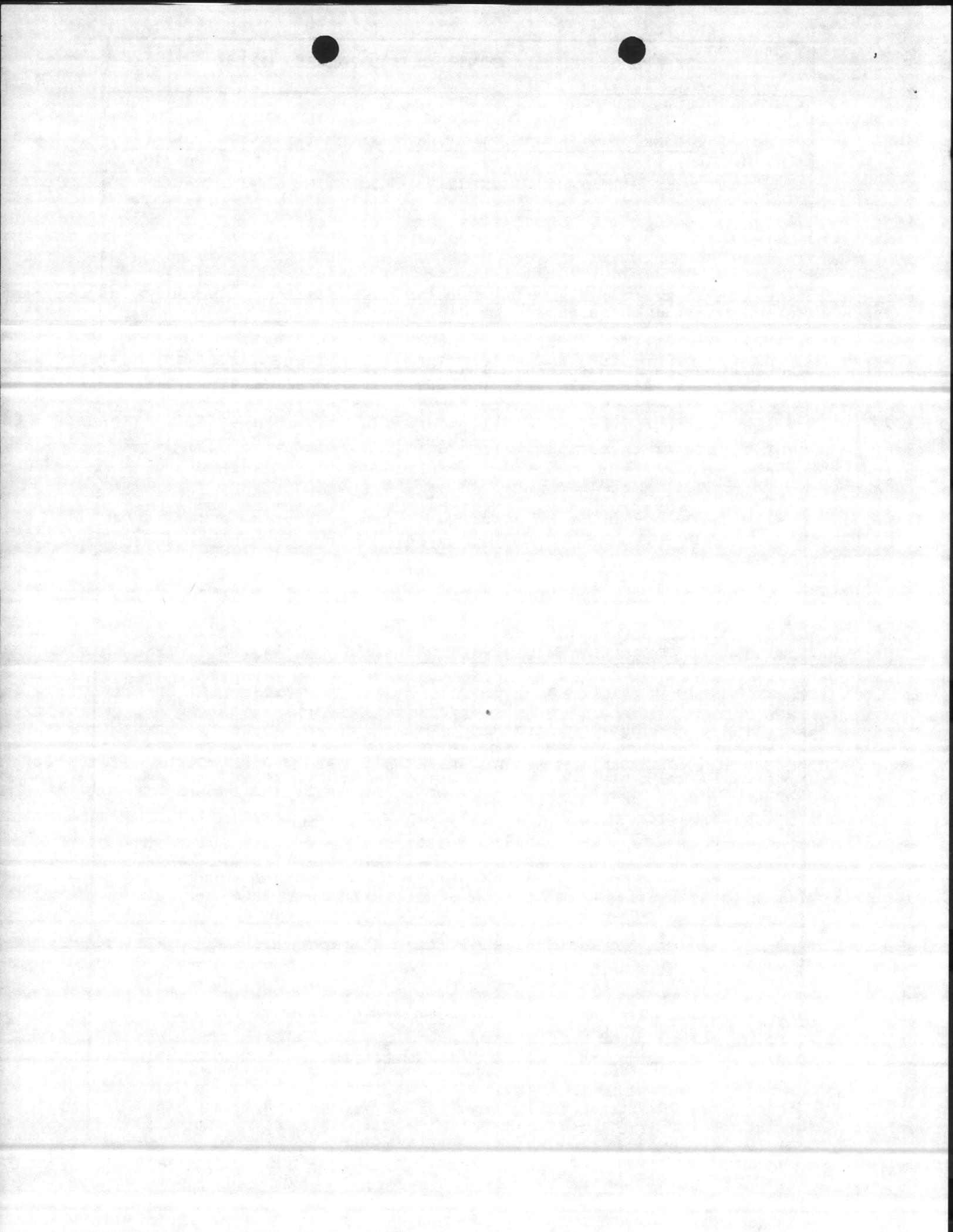
Air conditioning, heating and ventilating systems.

Plumbing.

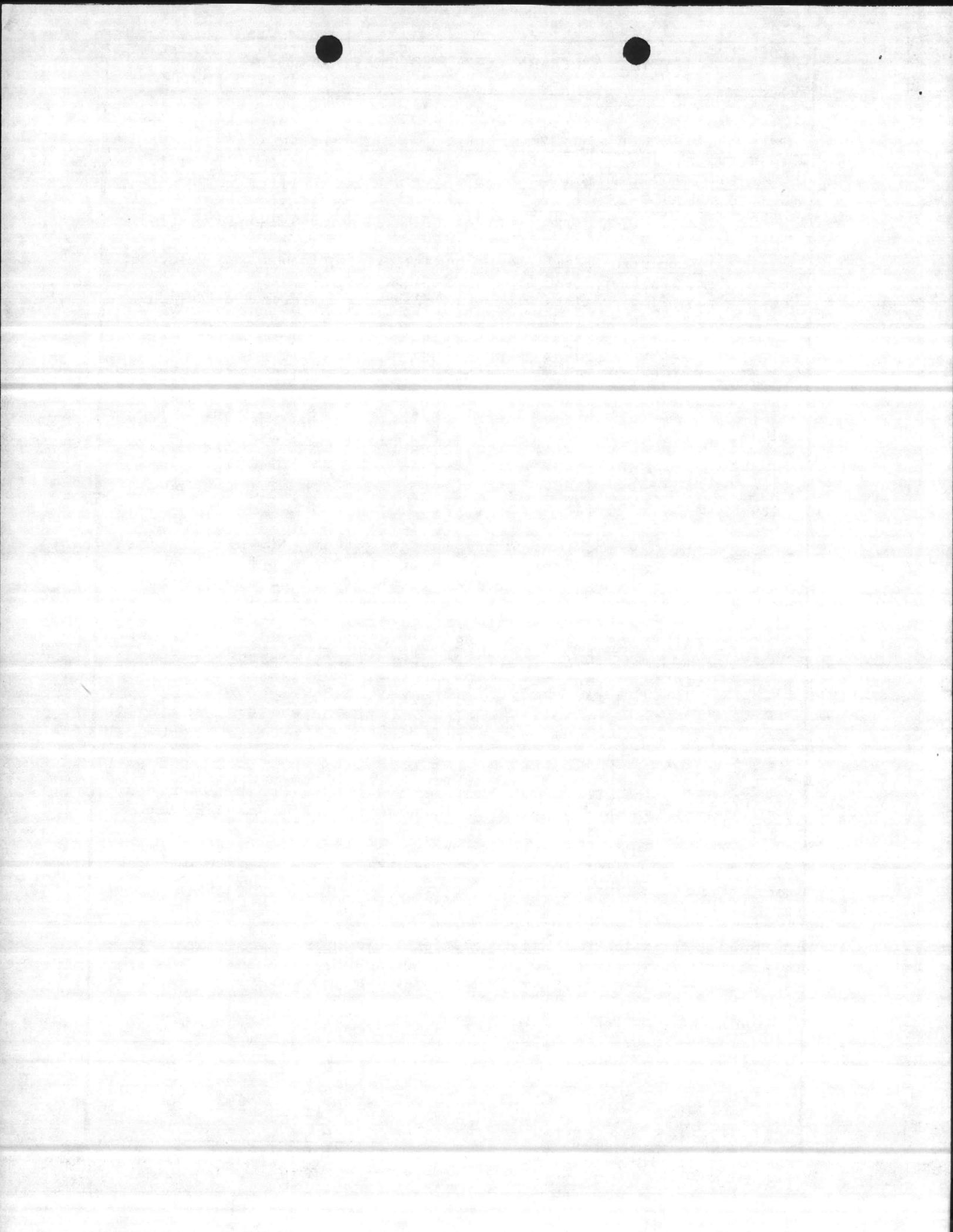
Telephone, fire alarm, sprinkler, TV and intercom systems.

Drinking water coolers, metal frames with windows and window screens.

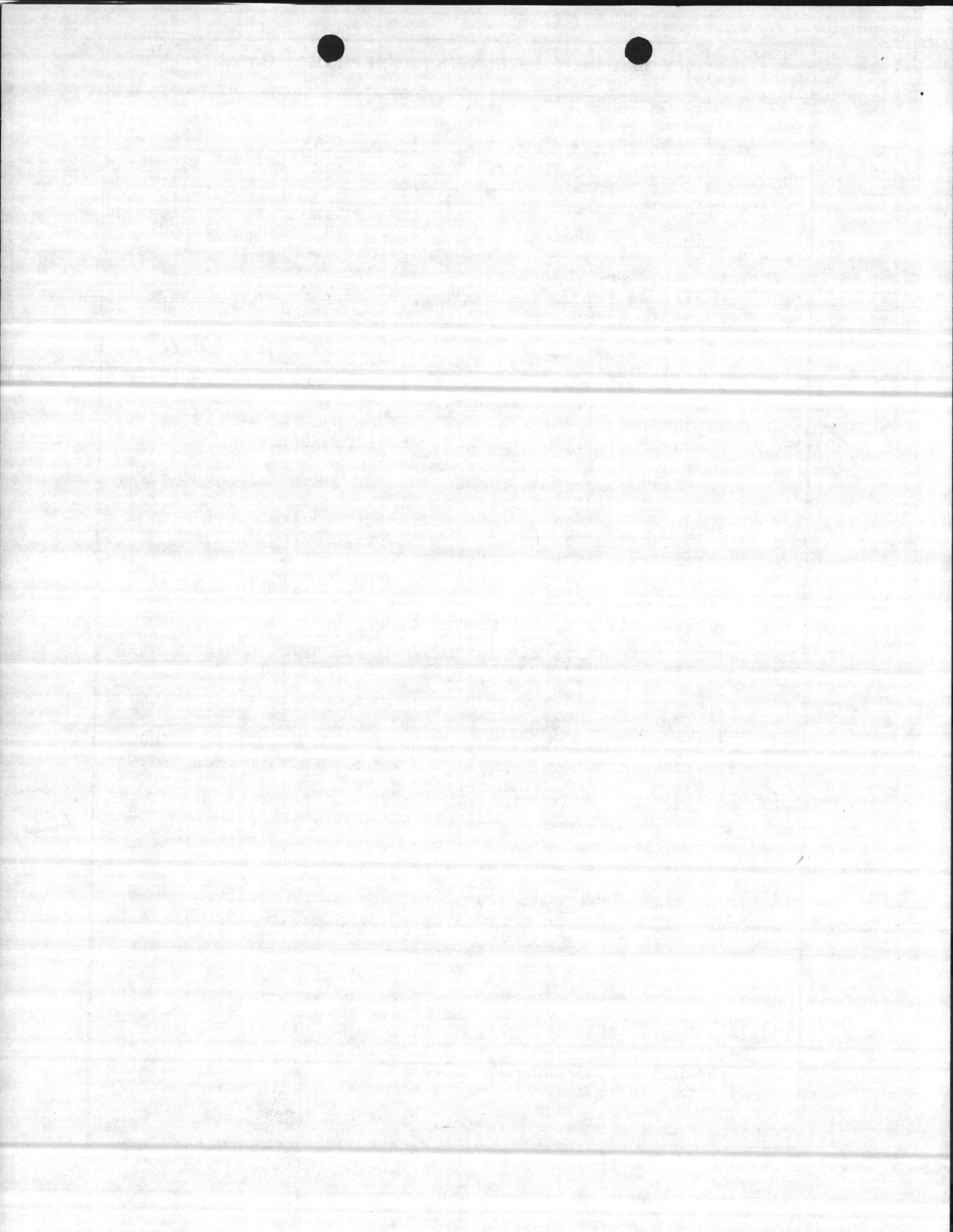
Kitchenette, counter top with stove, sink and refrigerator (built-in).



1. COMPONENT	FY 1990 MILITARY CONSTRUCTION PROJECT DATA	2. DATE 15 Apr 85			
MARTINE CORPS					
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542					
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL ONSLow BEACH AREA		5. PROJECT NUMBER P-775			
(b) Expense Item: To be purchased using NAF appropriations.					
<p>(4) <u>Supporting Facilities</u>: Special piling, foundation, solar hot water system, collateral equipment, site improvement, pollution abatement, etc. The following trailers will be demolished and/or removed from the construction site area.</p>					
<u>BLDG NO.</u>	<u>CONSTR.</u>	<u>TYPE CONSTR.</u>	<u>SF</u>	<u>COND.</u>	<u>USE</u>
BA-180	1972	T	648	SS	Rec Lodge
BA-181	1972	T	648	SS	Rec Lodge
BA-183	1972	T	648	SS	Rec Lodge
BA-184	1972	T	648	SS	Rec Lodge
BA-186	1972	T	648	SS	Rec Lodge
BA-188	1972	T	720	SS	Rec Lodge
BA-189	1972	T	720	SS	Rec Lodge
<p>4. <u>COST ESTIMATE</u>: Area cost factor for Camp Lejeune, NC, is 0.95. Cost data derived from the Military Construction Cost Review Guide, FY-82 (DOD 4270.1-CG), and escalated to FY-90 to provide for this proposed facility.</p>					
5. <u>JUSTIFICATION FOR PROJECT AND FOR SCOPE OF PROJECT</u> :					
a. <u>Justification for Project</u> :					
<p>(1) <u>Project</u>: Proposed facility is required to provide an adequate recreational lodge/motel to replace house trailers which have deteriorated beyond economical repair.</p>					
<p>(2) <u>Current Situation</u>: Personnel are staying in substandard house trailer facilities which are totally inadequate for recreational needs.</p>					
<p>(3) <u>Impact if Not Provided</u>: Personnel will continue to utilize substandard and makeshift facilities, resulting in low morale from spending vacation time in the deteriorated recreational facilities (trailers).</p>					
<p>b. <u>Justification for Scope of Project</u>: The project scope (34,056) is the minimum size facility that can meet the deficiency requirement for the recreational lodge/motel needs of the Base. (See item 13.)</p>					
6. <u>EQUIPMENT PROVIDED FROM OTHER APPROPRIATIONS</u> : Not applicable.					
7. <u>COMMON SUPPORT FACILITIES</u> : Not applicable.					



1. COMPONENT MARINE CORPS	FY 1990 MILITARY CONSTRUCTION PROJECT DATA	2. DATE 15 Apr 85																												
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542																														
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL ONSLOW BEACH AREA		5. PROJECT NUMBER P-775																												
<p>8. <u>EFFECT ON OTHER RESOURCES:</u> The project will require approximately \$8,497 per year in increased O&MMC funds for increased utility services and operations. No additional personnel will be required to operate this facility. The project will enhance and improve the morale of personnel presently using existing substandard facilities. Proposed construction should be responsive to the challenges presented by the energy situation and comply with the requirements of Executive Order 12003 of 20 July 1977 and implemented by NAVFACINST 4100.5A.</p> <p style="text-align: center;"><u>UTILITY REQUIREMENTS</u></p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 15%;">a. Electricity</td> <td style="width: 35%;">Consumption</td> <td style="width: 15%;">83,819</td> <td style="width: 35%;">KWHR/yr</td> </tr> <tr> <td></td> <td>Peak Demand</td> <td>52</td> <td>KW</td> </tr> <tr> <td></td> <td>Average Demand</td> <td>48</td> <td>KW</td> </tr> <tr> <td>b. Steam</td> <td>Consumption</td> <td>3,759,752</td> <td>Lbs/Yr</td> </tr> <tr> <td></td> <td>Demand</td> <td>1,346</td> <td>Lbs/Hr</td> </tr> <tr> <td>c. Coal</td> <td></td> <td>146.8</td> <td>Tons/Yr</td> </tr> <tr> <td>d.</td> <td colspan="3">Adequate utility requirements are available.</td> </tr> </table> <p>9. <u>SITING OF THE PROJECT:</u> This facility will be located in the Onslow Beach area in compliance with the Camp Lejeune Master Plan. (See Encl (1).)</p> <p>10. <u>OTHER GRAPHIC PRESENTATIONS, INCLUDING PHOTOGRAPHS:</u> None.</p> <p>11. <u>ECONOMIC ANALYSIS:</u> This facility is being constructed on an undeveloped site adjacent to a developed area. Economic savings will be in nominal energy consumption savings to be realized from efficient operations. This is a nonappropriated fund project in support of providing adequate recreational facilities for personnel morale and recreation.</p> <p>12. <u>ENVIRONMENTAL IMPACT ASSESSMENT:</u> An environmental impact assessment will be written and processed through the local EIA Review Board. No significant adverse impact is anticipated.</p> <p>13. <u>QUANTITATIVE DATA:</u></p> <p style="padding-left: 20px;">a. <u>BFRL Requirements:</u> Basewide miscellaneous is 66,640 SF. NAVFAC P-80 provides for space authorized based on number of personnel using facility and limitation on occupancy of the recreation area determined by its physical and recreational characteristics. There are no definitive drawings given in NAVFAC P-272 for Category Code 740-81.</p>			a. Electricity	Consumption	83,819	KWHR/yr		Peak Demand	52	KW		Average Demand	48	KW	b. Steam	Consumption	3,759,752	Lbs/Yr		Demand	1,346	Lbs/Hr	c. Coal		146.8	Tons/Yr	d.	Adequate utility requirements are available.		
a. Electricity	Consumption	83,819	KWHR/yr																											
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c. Coal		146.8	Tons/Yr																											
d.	Adequate utility requirements are available.																													



1. COMPONENT MARINE CORPS	FY 1990 MILITARY CONSTRUCTION PROJECT DATA	2. DATE 15 Apr 85
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3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542

4. PROJECT TITLE RECREATIONAL LODGE/MOTEL ON SLOW BEACH AREA	5. PROJECT NUMBER P-775
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b. Existing Facilities:

<u>BLDG NO.</u>	<u>AREA SF</u>	<u>COND CODE</u>	<u>REMARKS</u>
BA-180	648	Inad*	To be demolished (Trailer House)
BA-181	648	Inad*	To be demolished (Trailer House)
BA-183	648	Inad*	To be demolished (Trailer House)
BA-184	648	Inad*	To be demolished (Trailer House)
BA-186	648	Inad*	To be demolished (Trailer House)
BA-188	720	Inad*	To be demolished (Trailer House)
BA-189	720	Inad*	To be demolished (Trailer House)
	5,784	Inadequate*	
BA-114	19,324	SS	To be upgraded with local NAF funds
BA-119	1,596	SS	To be upgraded with local NAF funds
BA-120	1,232	SS	To be upgraded with local NAF funds
BA-143	1,536	SS	To be upgraded with local NAF funds
BA-144	3,152	SS	To be upgraded with local NAF funds
BA-146	1,232	SS*	To be upgraded with local NAF funds
BA-147	772	SS	To be upgraded with local NAF funds
SBA-142	3,740	SS*	To be upgraded with local NAF funds
	32,584	Substandard*	

*Facility is reflected as adequate in NAVFAC 10651 dated 24 April 1984 which is a misnomer and will be corrected on next document update.

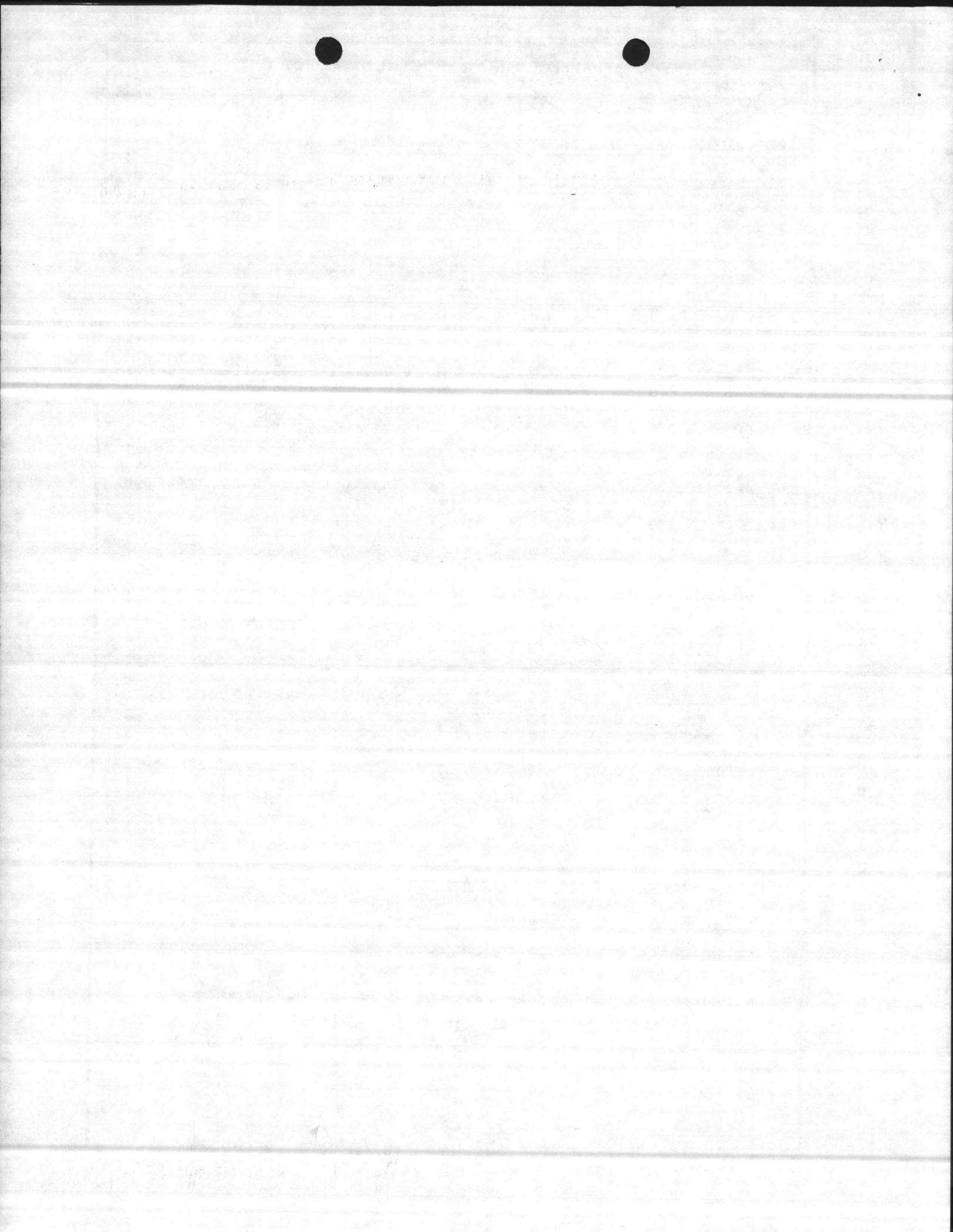
c. Planned Facilities:

<u>Project No.</u>	<u>Area SF</u>
P-775	34,056

d. Summary:

Existing Adequate Facilities:	0
Planned Facilities:	34,056
Total Planned & Existing:	34,056
BFRL Total:	66,640

14. FUNDING: Funding will be from the Non-Appropriated Fund, Central Construction Fund, HQMC. Non-Contractor installed equipment is not a part of this project and will be funded by appropriated funds.



COST ESTIMATE

DATE PREPARED
15 Apr 85

SHEET 1 OF 1

ACTIVITY AND LOCATION
MARINE CORPS BASE
CAMP LEJEUNE, NC 28542

CONSTRUCTION CONTRACT NO.

IDENTIFICATION NUMBER

ESTIMATED BY
E. G. JONES

P-775

CATEGORY CODE NUMBER

740-81

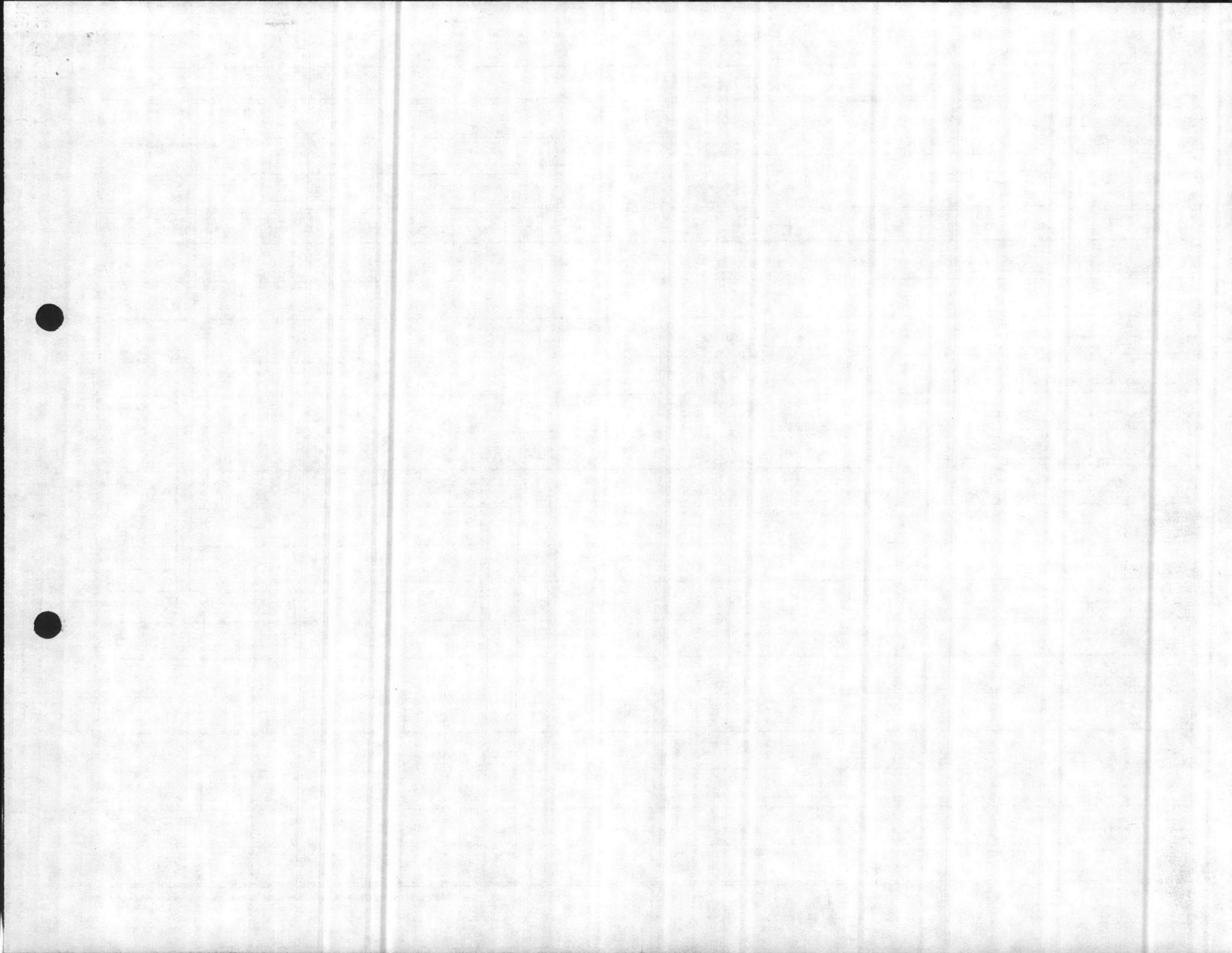
PROJECT TITLE
RECREATIONAL LODGE/MOTEL, ONSLOW BEACH AREA

STATUS OF DESIGN

PED 30% 100% FINAL Other (Specify) Project

JOB ORDER NUMBER

ITEM DESCRIPTION	QUANTITY		MATERIAL COST		LABOR COST		ENGINEERING ESTIMATE	
	NUMBER	UNIT	UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL
<u>RECREATIONAL LODGE/MOTEL</u>								
MOTEL UNITS	32,460	SF					50.27	1,631,764
ADMIN BUILDING	1,596	SF					50.27	80,231
BUILT-IN EQUIPMENT	1	LS						512,532
SOLAR HOT WATER SYSTEM	1	LS						51,336
<u>SUPPORTING FACILITIES</u>								
SPECIAL CONSTRUCTION (PILINGS)	1	LS						89,700
UTILITIES								119,232
SITE IMPROVEMENTS								119,370
SUBTOTAL								2,604,165
OVERHEAD, PAYROLL TAXES, INS., S.S. PROFIT - 40%								1,041,666
SUBTOTAL								3,645,831
CONTINGENCY - 5%								182,292
TOTAL CONTRACT COST								3,828,123
S.I.O.H. -5.5%								210,547
TOTAL REQUEST								4,038,670
							SAY:	4,039,000



COMMANDANT OF THE MARINE CORPS (LFF-1)

MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542

CATEGORY CODE AND PROJECT TITLE 740-81 - Recreational Lodge/Motel, Onslow Beach Area	TYPE OF FUNDING NAF	COST (\$000) 3,100	FISCAL YEAR FY-83
---	------------------------	-----------------------	----------------------

PROJECT DESCRIPTION
 Two-story frame buildings, woodsiding, pile foundations, bedroom units with bathroom, kitchenette and lounge area. One-story framed Administrative Building.

REMARKS
 This is a NAF project in support of recreational requirements.

TYPE OF MAP
 Site Location (Encl 1)

DATE

REQUESTED BY (Typed name and signature)

DATE

R. E. CARLSON, CDR, CEC, USN

5 MAY 1982

PUBLIC WORKS OFFICER

DATE RECEIVED

ANALYSIS
 (Place a check (✓) in box opposite each item. Y = Yes, N = No, NA = Not Applicable)

Y	N	NA	PROJECT SITING CONSIDERATION	Y	N	NA	PROJECT SITING CONSIDERATION
✓			a. COMPATIBLE WITH ACTIVITY PLANNED DEVELOPMENT GOALS				COMPLIES WITH THE FOLLOWING CRITERIA:
✓			b. DEMONSTRATES SOUND PLANNING PRINCIPLES	✓			(1) AMMUNITION AND EXPLOSIVES
✓			c. MEETS MINIMUM PLANNING AND SITING CRITERIA			✓	(2) ELECTROMAGNETIC RADIATION
						✓	(3) AIRFIELD SAFETY
						✓	(4) NOISE INTENSITY
				✓			(5) FIRE PROTECTION

COMPATIBLE WITH ACTIVITY MASTER PLAN (Check appropriate box)

IDENTICAL

NOT SHOWN BUT CONSISTENT

NOT SHOWN AND INCONSISTENT

DIFFERENT BUT CONSISTENT

DIFFERENT AND INCONSISTENT

CRITERIA CERTIFICATION(S) REQUESTED (Check)

DDESB CNO NAVSEA NAVLEX NAVAIR OTHER

DATE

DATE CERTIFICATION(S) RECEIVED

DDESB

CNO

NAVSEA

NAVLEX

NAVAIR

OTHER

ACTION

APPROVED

DISAPPROVED

DEFERRED

REMARKS

SITE APPROVED
 HQMC
 DATE: 7/21/82
 BY: *[Signature]*

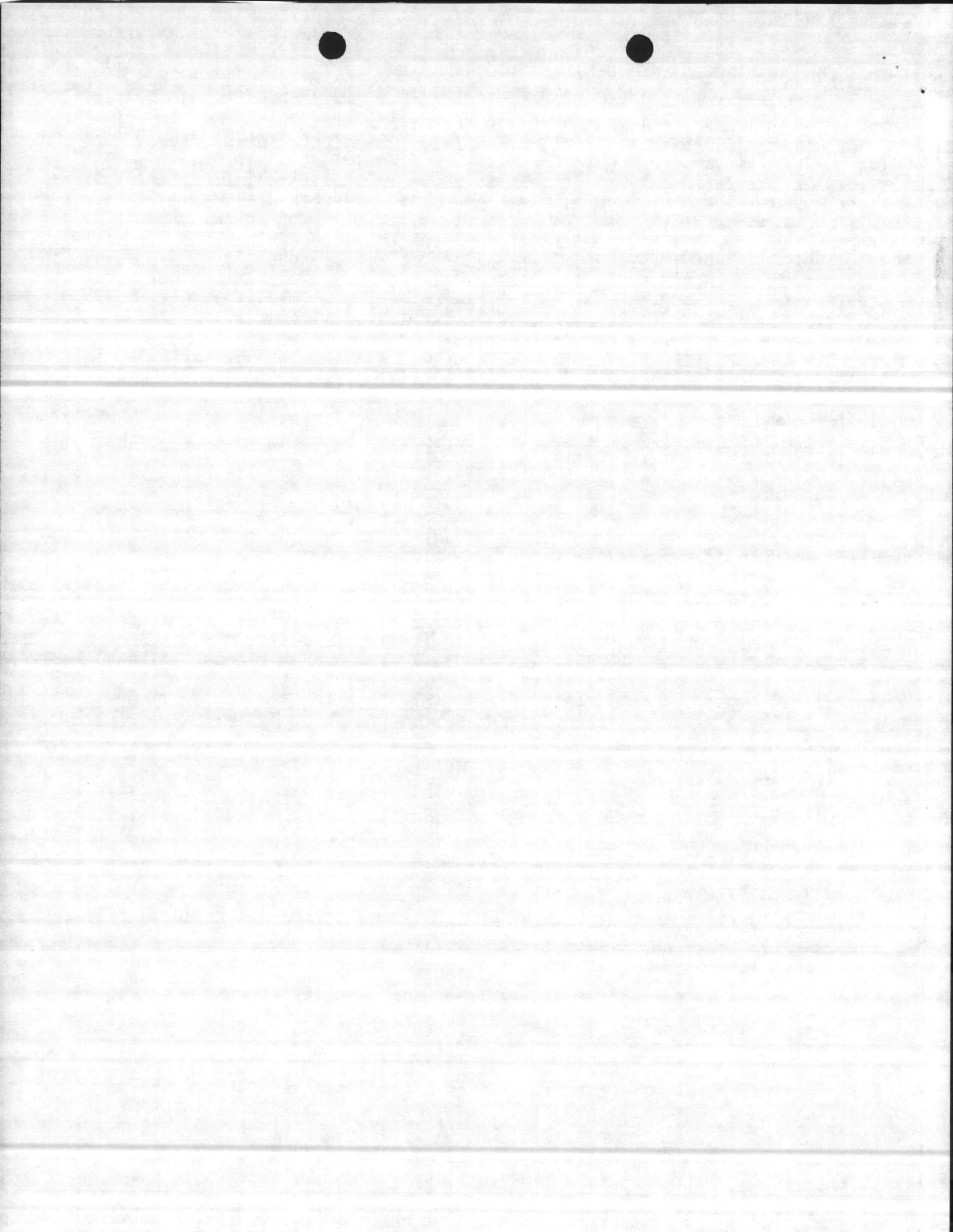
APPROVING OFFICIAL (Typed name and signature)

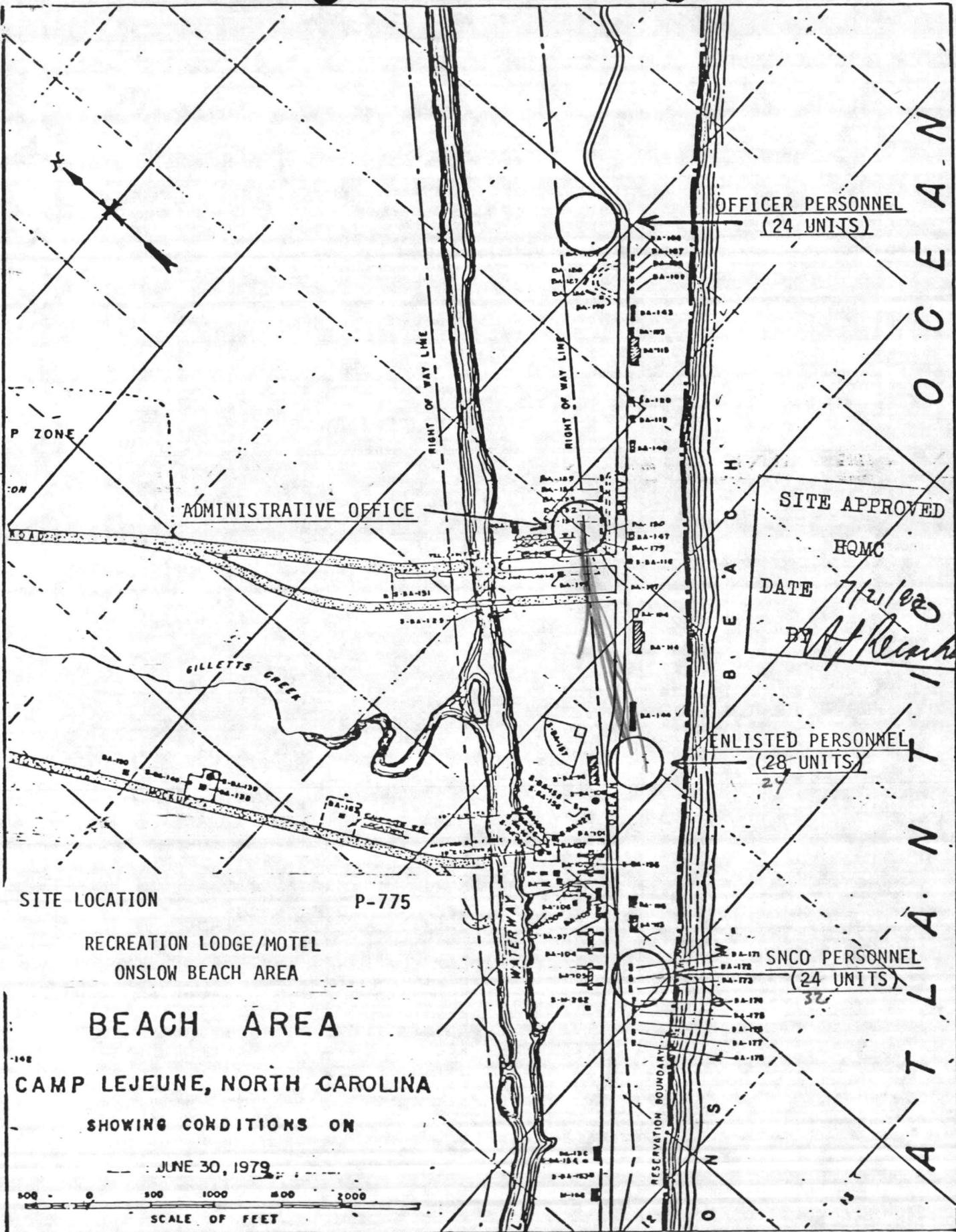
T.M. Barr
 By directi

DATE

23 JUL 1982

HQMC REVIEW AND ANALYSIS





OFFICER PERSONNEL
(24 UNITS)

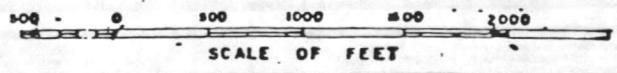
SITE APPROVED
 HQMC
 DATE 7/21/79
 BY A. P. Robinson

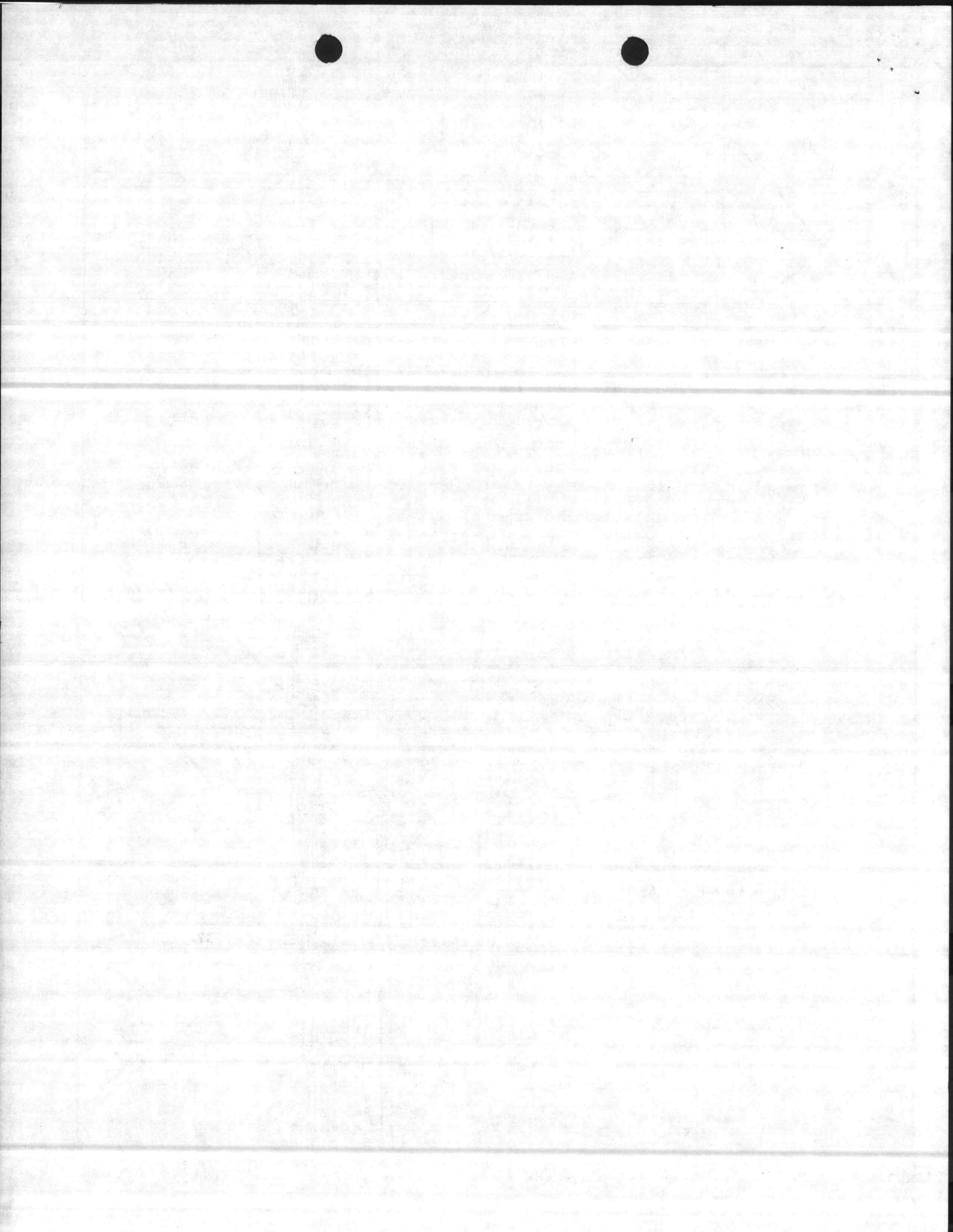
ENLISTED PERSONNEL
(28 UNITS)
24

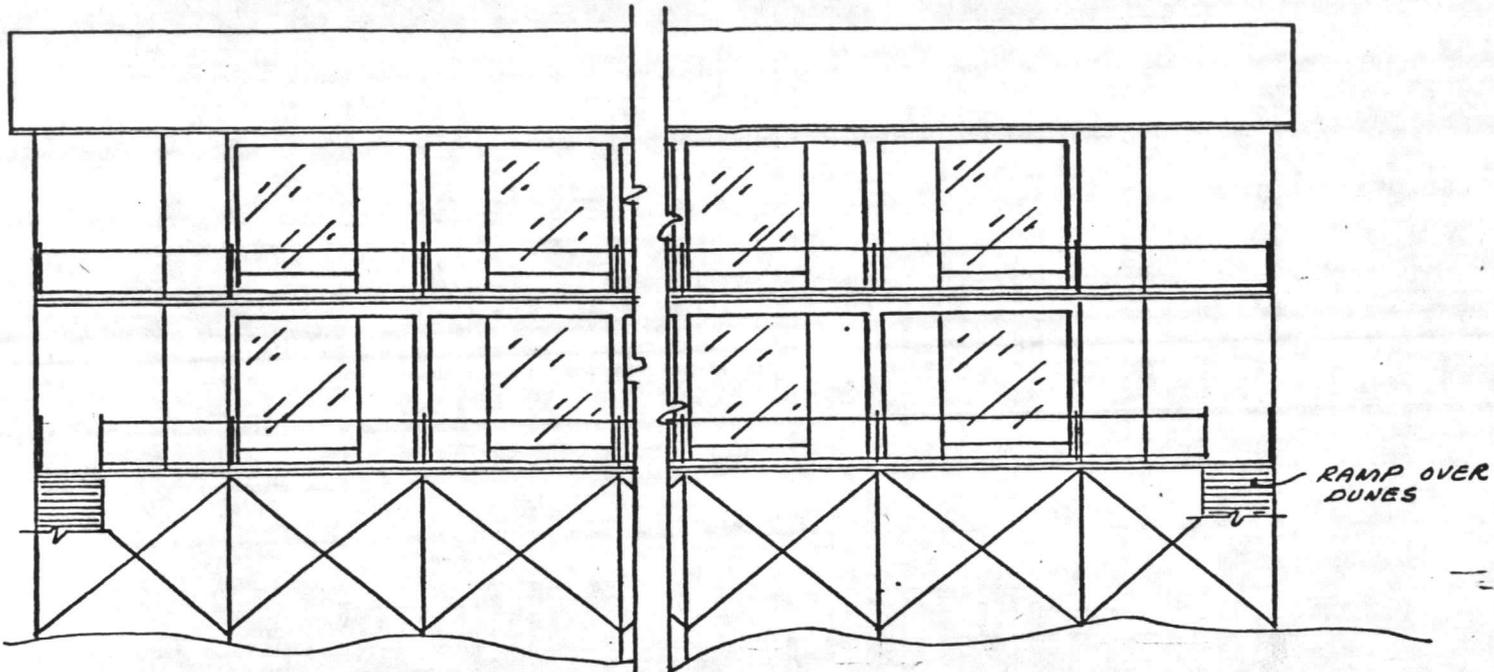
SNCO PERSONNEL
(24 UNITS)
32

SITE LOCATION P-775
 RECREATION LODGE/MOTEL
 ONSLOW BEACH AREA
BEACH AREA
 CAMP LEJEUNE, NORTH CAROLINA
 SHOWING CONDITIONS ON

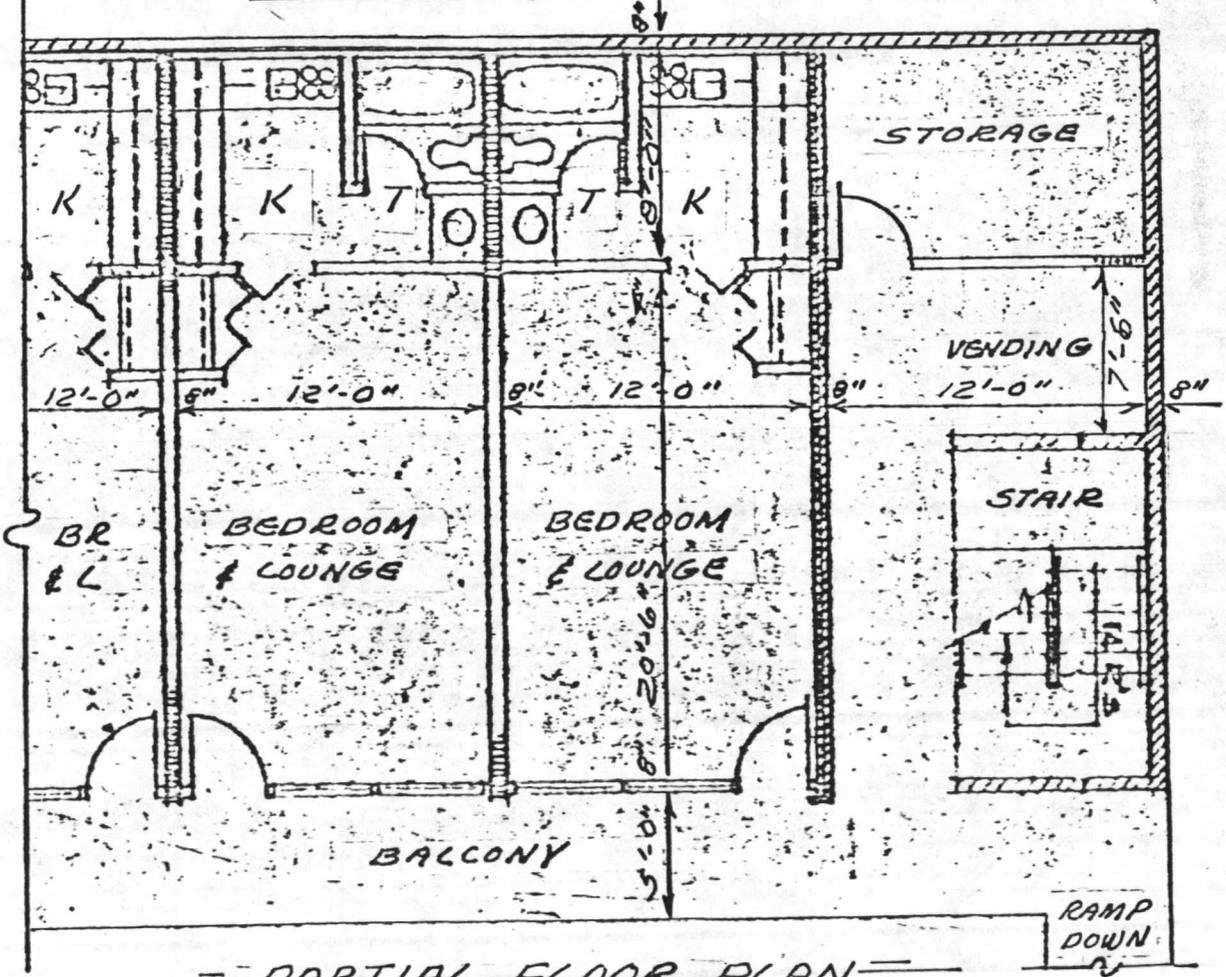
JUNE 30, 1979





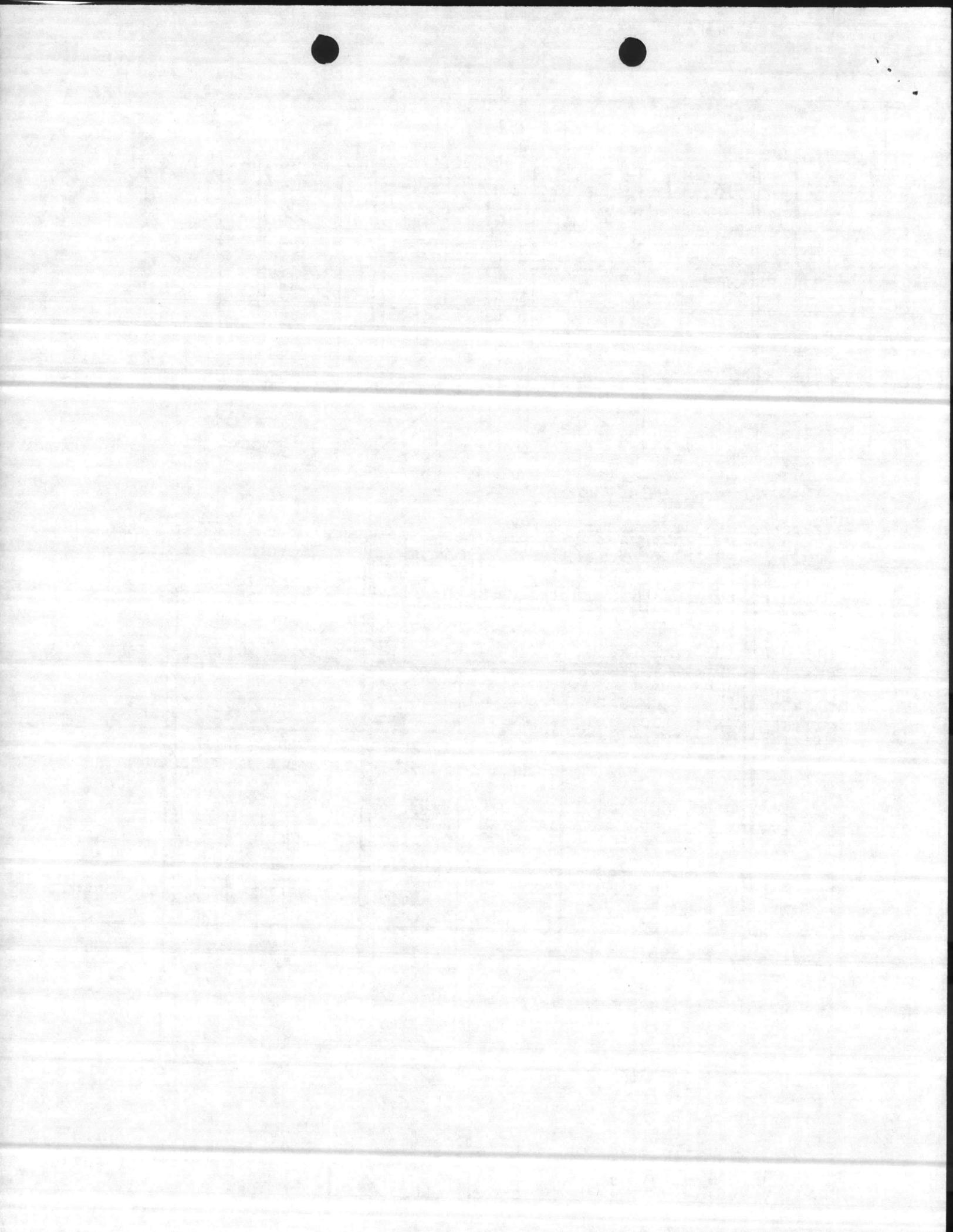


— ELEVATION — NO SCALE —



— PARTIAL FLOOR PLAN —
— SCALE: 1/8" = 1'-0" —

P-775
RECREATION LODGE / MOTEL



121 West 7th Street
PO Box 34128
Charlotte, NC 28234
704/333-6686

1207 Potomac Street, NW
Washington, DC 20007
202/338-4381

September 5, 1984

Corps of Engineers
Atlantic Division
NAVFAC
Gilbert Street
Building N26
Norfolk, Virginia 23511

Attention: Mr. M.L. Bryant, P.E.

Reference: Recreational Lodge/Motel
Onslow Beach Area
Camp LeJeune, North Carolina

Gentlemen:

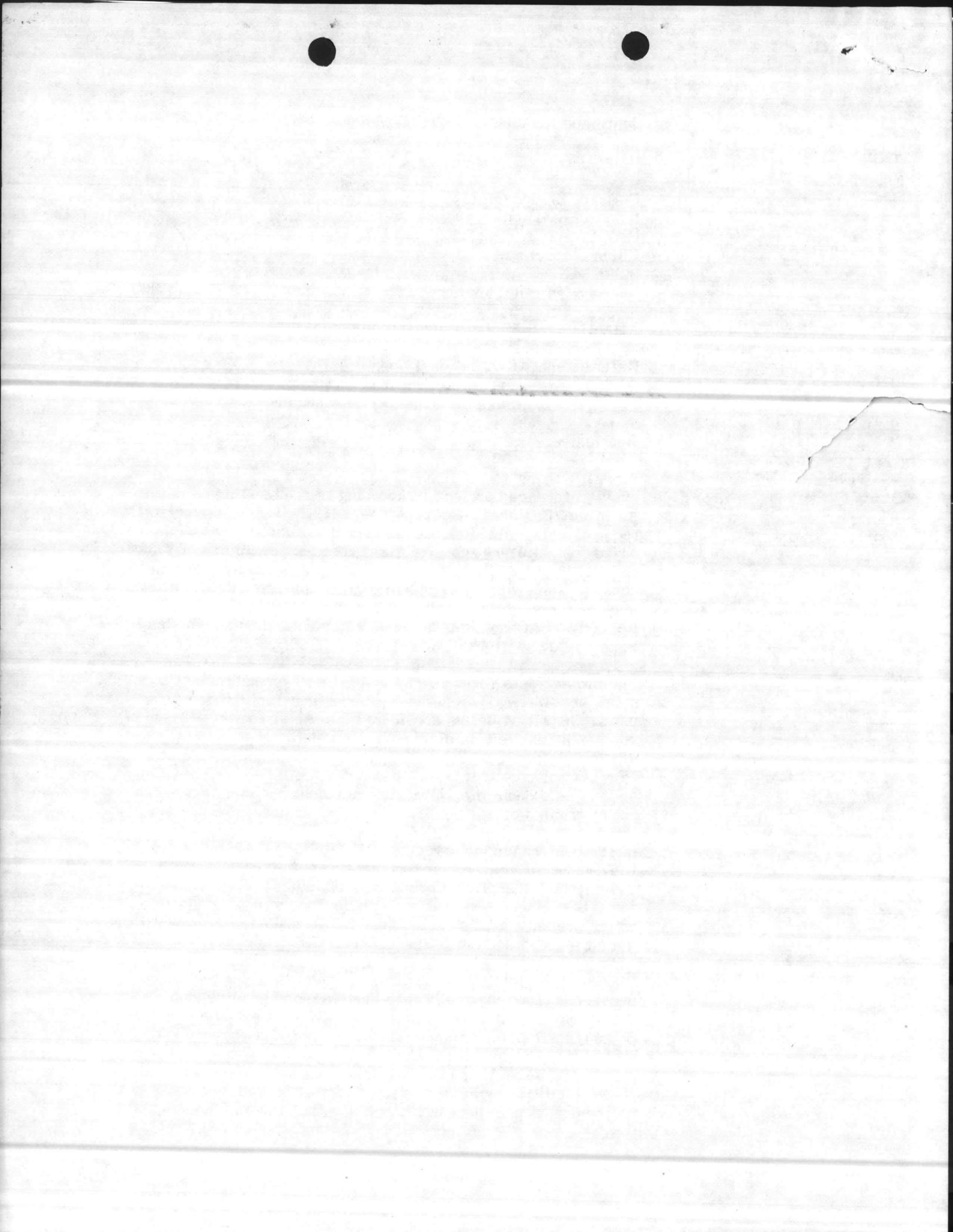
We are writing to confirm/request information regarding the above referenced project. According to the existing guide for Architect/Engineer Firms, the 35% design submittal requirements we will be providing will include a cost estimate based on military construction cost review guide FY-82 (DOD4270. 1-CG). Because of the nature of this construction, which is residential, the method of estimating may differ slightly. Will you provide us with a contact at LANTNAVFAC so that our cost estimating department may be in contact with that individual?

The project data form of May 5, 1982 lists a requirement of a solar hot water system as a supporting facility for these units. Our siting design considers both use of energy efficient equipment as well as building orientation for solar gain and air circulation. The building is also designed to suitably retroset solar collectors on the roof at both the correct pitch and angle if desirable. Our Contract does not include studies for alternates or costing of domestic solar hot water systems.

In our conference memorandum of October 14, 1983 following the predesign conference for this project, it was stated and documented that fully-sprinklered buildings were too costly for this project as well as an existing concern of inadequate water pressure available at the site. A sprinkler system will not be incorporated into this project.

Finally, the military construction project data indicates that provisions for physically handicapped personnel should be incorporated into this project. We have no current documentation in memorandums or otherwise regarding this situation. Please be advised that these units are raised on piles and we anticipate that the only on-grade portion of these facilities will be the administration building at the enlisted personnel housing, suggesting that the only accessible

**CLARK
TRIBBLE
HARRIS
& LI**
Architects & Engineers

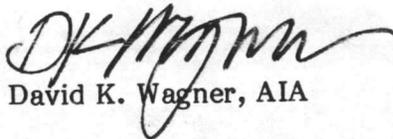


facility in this project would be the administrative office. Please provide us with information on this matter if it is intended that handicapped units be incorporated into these buildings.

Also, at your verbal approval we are proceeding with 35%. To date, we have not received a Contract, inturn we have not established a schedule for completion of this phase of the work.

Sincerely,

CLARK TRIBBLE HARRIS AND LI ARCHITECTS, P.A.

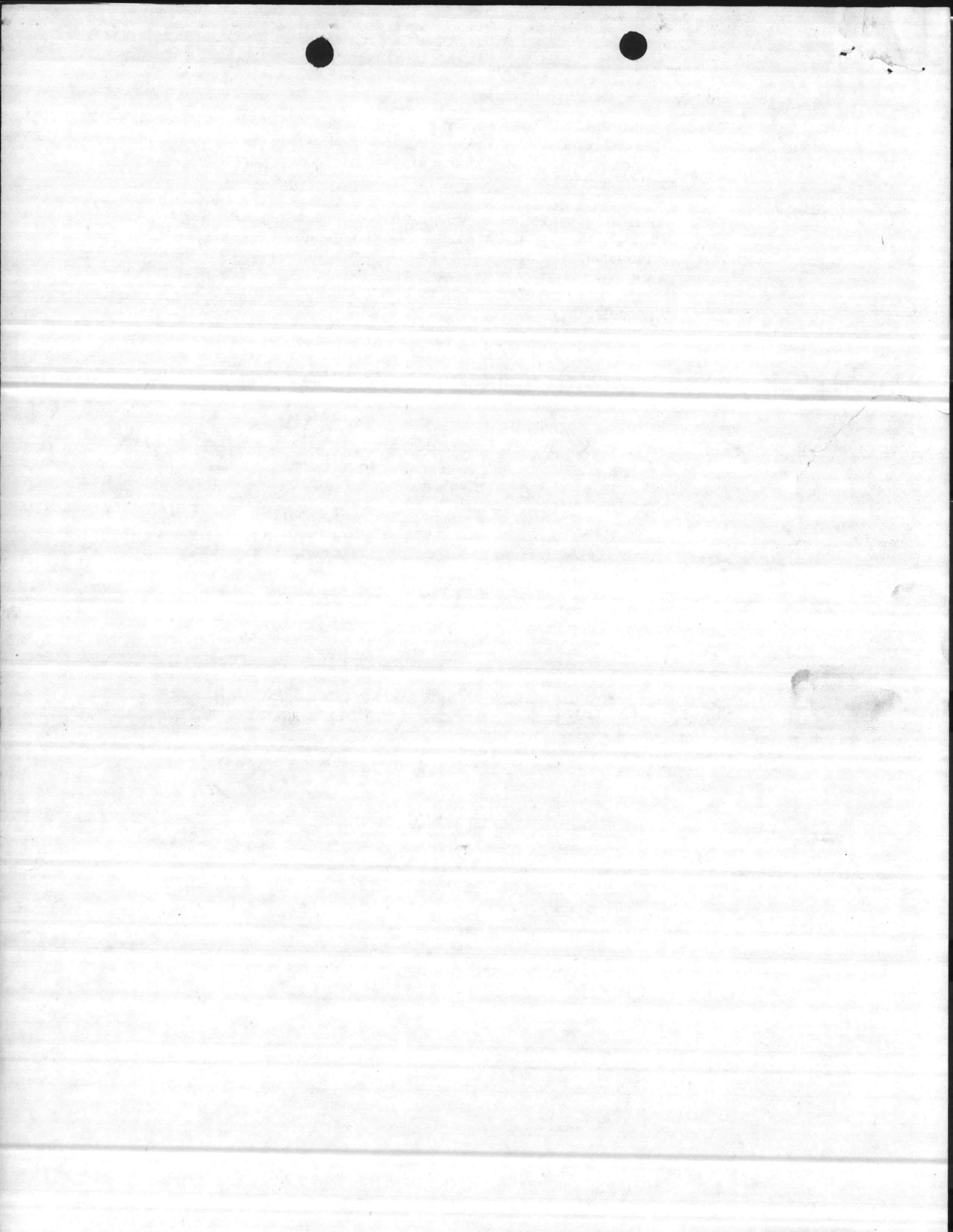


David K. Wagner, AIA

dg

cc: Mr. E.L. Rouse

583103



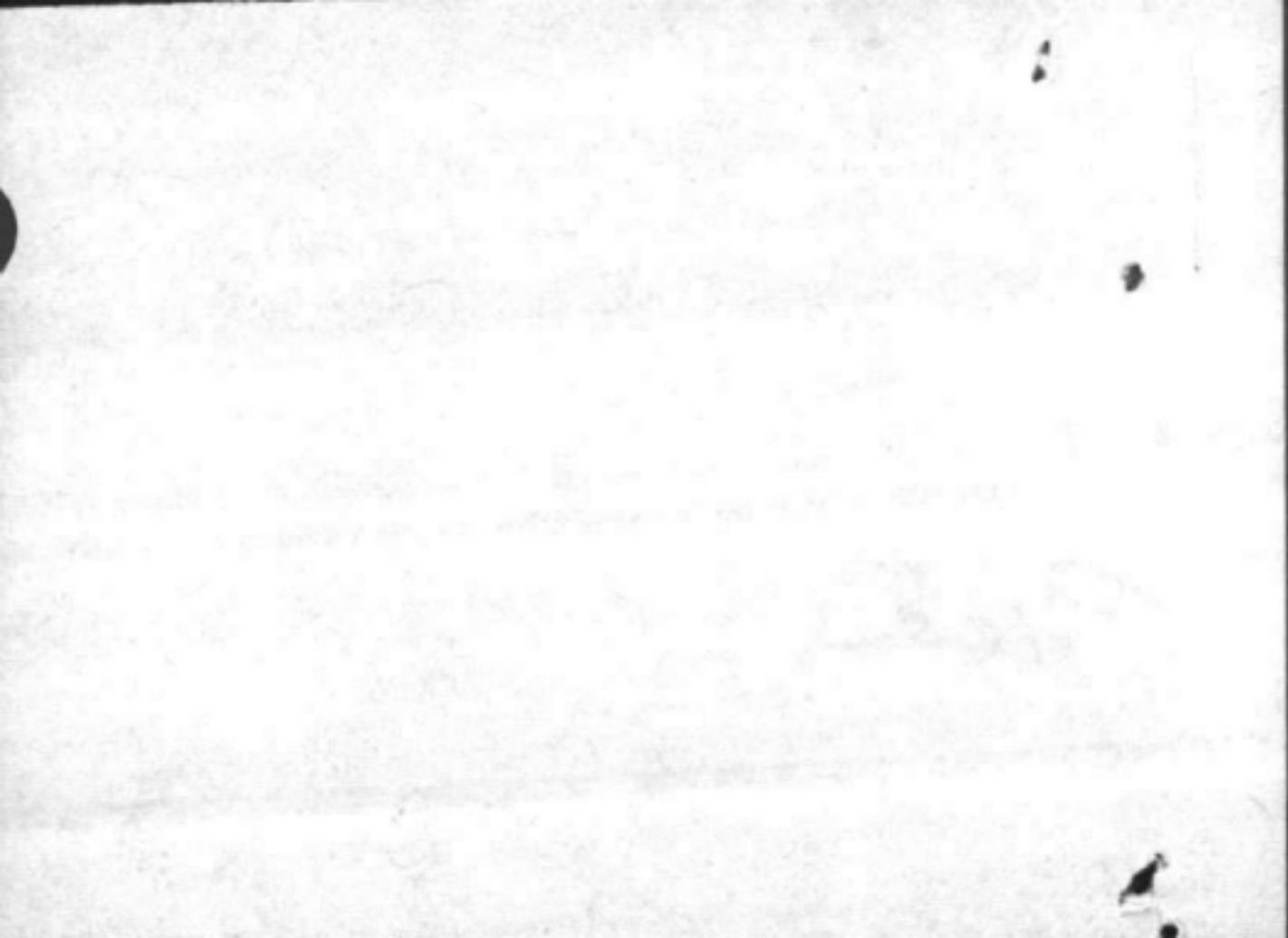
PLANNING BRANCH ACTION CHIT

LOGGED BY: Mary ON: 8/27

EGJ

Larry B WLB
Fred

ACTION GIVEN TO: _____



Transmittal Letter

Design on hold
File P-775

**CLARK
TRIBBLE
HARRIS
& LI**

Architects & Engineers

121 West 7th Street
PO Box 34128
Charlotte, NC 28234
704/333-6686

Waterfront Center, Suite 660
1010 Wisconsin Avenue,
Washington, DC 20007
202/333-3060

595 Madison Avenue
40th Floor
New York, NY 10022
212/826-2922

To	Public Works Department Building 1005 Camp LeJeune, North Carolina 28452 Attention: Mr. E.L. Rouse
-----------	---

Project		Onslow Beach
		Camp LeJeune, North Carolina
Project Number	583103-000	Date August 23, 1984
We Transmit	For Your	The Following
<input checked="" type="checkbox"/> Herewith	<input type="checkbox"/> Approval	<input type="checkbox"/> Drawings
<input type="checkbox"/> In Accordance With Your Request	<input type="checkbox"/> Review & Comment	<input type="checkbox"/> Specifications
<input type="checkbox"/> Under Separate Cover Via	<input checked="" type="checkbox"/> Use	<input type="checkbox"/> Shop Drawing Reproducibles
<input type="checkbox"/> Via	<input type="checkbox"/> Information	<input type="checkbox"/> Shop Drawing Prints
	<input type="checkbox"/>	<input type="checkbox"/>
Copies	Date	Description
1		Letter reference: electrical service - Onslow Beach
1 set		Presentation slides
1 copy		Architect's report
Remarks		
Copies To		Enclosures
		<input type="checkbox"/>
		<input type="checkbox"/>
		<input type="checkbox"/>
By	<i>DK Wagner</i> David K. Wagner, AIA	

dg

MEMORANDUM FOR THE RECORD

DATE: 10/15/54
TO: SAC, NEW YORK
FROM: SAC, NEW YORK
SUBJECT: [Illegible]

NO.	DATE	DESCRIPTION	INITIALS
1	10/15/54	[Illegible]	[Illegible]
2	10/15/54	[Illegible]	[Illegible]
3	10/15/54	[Illegible]	[Illegible]
4	10/15/54	[Illegible]	[Illegible]
5	10/15/54	[Illegible]	[Illegible]
6	10/15/54	[Illegible]	[Illegible]
7	10/15/54	[Illegible]	[Illegible]
8	10/15/54	[Illegible]	[Illegible]
9	10/15/54	[Illegible]	[Illegible]
10	10/15/54	[Illegible]	[Illegible]
11	10/15/54	[Illegible]	[Illegible]
12	10/15/54	[Illegible]	[Illegible]
13	10/15/54	[Illegible]	[Illegible]
14	10/15/54	[Illegible]	[Illegible]
15	10/15/54	[Illegible]	[Illegible]
16	10/15/54	[Illegible]	[Illegible]
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121 West 7th Street
PO Box 34128
Charlotte, NC 28234
704/333-6686

Waterfront Center, Suite 660
1010 Wisconsin Avenue
Washington, DC 20007
202/333-3060

August 24, 1984

Public Works Department
Building 1005
Camp Lejeune, North Carolina 28452

Attention: Mr. E.L. Rouse
Chief of Design

Reference: Contract No. N62470-83-C-6115
Onslow Beach Recreational Lodge
Camp Lejeune, North Carolina

**CLARK
TRIBBLE
HARRIS
& LI**

Architects & Engineers

Gentlemen:

During our visit of July 25, 1984 in which we presented the concepts for the above referenced project, we had the opportunity to meet with a number of the staff in the Public Works Department. We are bringing to your attention a meeting with Mr. Luther Norris of the Electrical Department in which we discussed the existing overhead electrical power in the Onslow Beach area. As you are aware, it is fed from a line which runs from the Intercoastal Waterway Bridge back to Highway 172. This is a 12,470 volt capacity line, but it is currently carrying only 2400 volts. This line terminates at a substation located at the intersection of Highway 172 and Onslow Beach Road.

As the conference memo from this office of June 25, 1984 indicates, Mr. Norris also stated that no transformer previously was located at the beach and now believes that the substation would have to be relocated to provide the necessary power for these facilities.

In a prior conversation with Steve Fink of our Engineering Department, it was noted that occasionally problems occur with this line and its existing loading. As we enter 35% design on this project and begin to determine both the size of the buildings and type of heating we will prepare estimated loads to be added to this distribution system for your review. It is likely that revisions to the electrical distribution facilities on the beach area will be required as a result of this added load. Any design relating to the existing power to the beach area is not within the scope of our work and any services resulting in the re-sizing of this power at the time of review will need to be negotiated.

Department of Health, Education and Welfare
Washington, D.C. 20452

Attention: Chief of Section
Mr. J. L. Jones

Reference: Contract No. 70-010-01-0112
Contract for the purchase of
Computer System, North Carolina

Contract

As the contractor from this office of June 20, 1964
indicated, Mr. Jones also stated that no contractor
previously had worked at the level and now believe that
modification would have to be made. It is the
necessity of the contract.

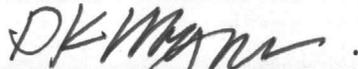
with this and the existing contract. As we agree
on the order and being determined both the size of the
with these and type of hearing we will generate estimated loads
to be added to the distribution system for your review. It is
the board area. It is recommended that a study be
and being relating to the existing power to the
but within the scope of our work and any revised results in
the contract. The power at the time of review will need to

CLASSIFIED

If we can be of further assistance, please do not hesitate to contact our office.

Very truly yours,

CLARK TRIBBLE HARRIS AND LI ARCHITECTS, P.A.



David K. Wagner, AIA
Project Manager

le

CONCEPT PRESENTATION

June 25, 1984

**RECREATIONAL LODGE/MOTEL
ON SLOW BEACH AREA
CAMP LEJEUNE, NORTH CAROLINA**

PRESENTATION DRAWINGS

- | | | | | |
|----|---|-----------------------|--|--------|
| 1. | Site Plan | North Site (Scheme 1) | Officers/SNCO | Site D |
| 2. | Site Plan | North Site (Scheme 2) | Officers | Site D |
| 3. | Site Plan | | Administration Building
/Enlisted Personnel | Site C |
| 4. | Site Plan | South Site | SNCO | Site A |
| 5. | Massing Axonometrics | | | |
| 6. | Typical Building Elevations Front, Rear | | | |
| 7. | Enlarged Building Elevation, Enlarged Unit Plan | | | |

SITE PLAN OPTIONS

Concept 1

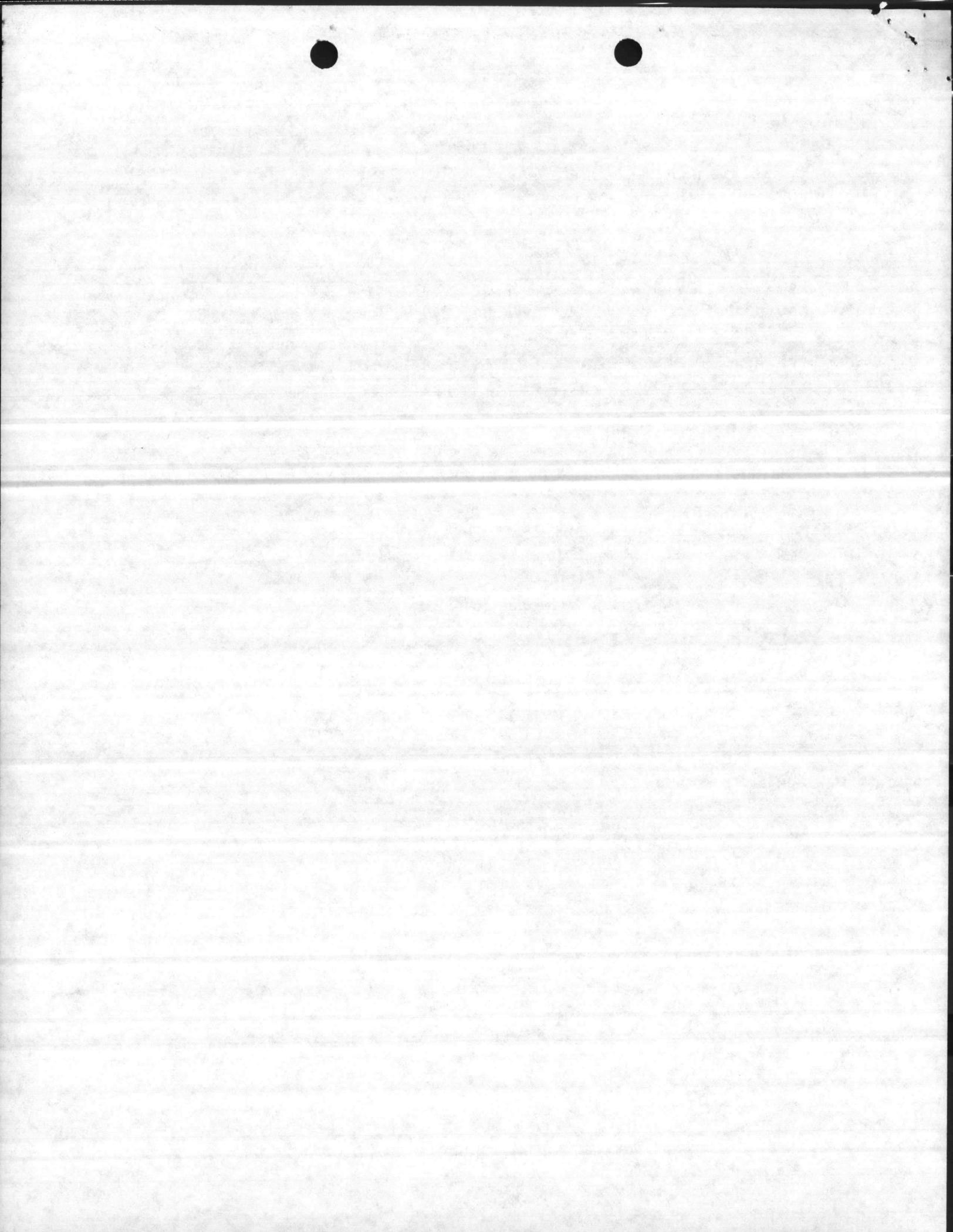
Site D	24 units	SNCO
Site C	32 Units	Officers/Administration
Site A	24 Units	Enlisted

Concept 2

Site D	32 Units	Officers
Site C	24 Units	Enlisted/Administration
Site A	24 Units	SNCO

Concept 3

Site D	32 Units	Officers
	24 Units	SNCO
Site C	24 Units	Enlisted/ Administration



PROJECT DESCRIPTION

The facility is to be a multi-unit recreational lodge/motel and administrative complex with a total of 80 units. The buildings will be 2 story frame structures on wood pile foundations with cedar siding and asphalt shingle roofs.

The scope of the work identified four sites for the proposed buildings. They were indicated as: Officer Personnel, Administrative Office, Enlisted Personnel and SNCO Personnel. The unit breakdown is as follows: Officers - 32 units, SNCO - 24 units, Enlisted Personnel - 24 units.

For the purposes of discussion and identification, the sites will be described with the letters A, B, C and D starting from the southernmost site identified in the scope of work as SNCO Personnel.

The Architect investigated each of the given sites examining the factors which would have the greatest impact on the design. In the concepts presented, the Architect considered economics, aesthetic appeal, visual interest, building/site configuration and building orientation.

As a result of this investigation, Sites A & B posed the greatest potential problems for building placement.

Site A is entirely within the right-of-way of the Intercoastal Waterway. The existing dirt road which runs parallel to the coast line and toe of the fore-dune slope restricts the buildable site to a depth of less than 125 feet. This site also has dense existing vegetation to the south, as well as, along the beach road.

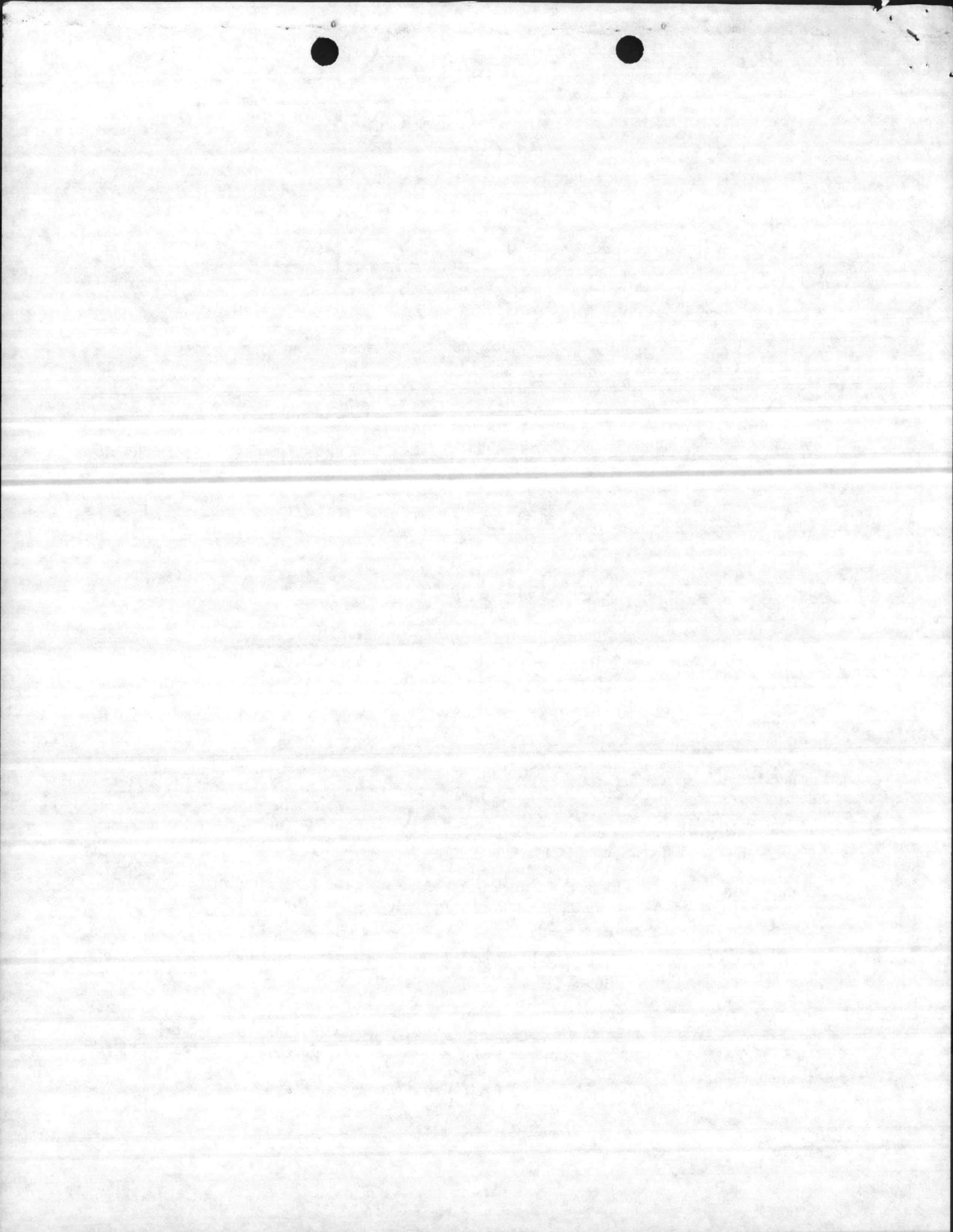
Site B is contained by the dirt road and the fore-dune to less than 100 feet of buildable area. This factor renders this site almost unbuildable.

The remaining sites C & D are less restrictive and provide the most flexibility for building placement.

An additional factor which effected building massing was orientation for solar domestic hot water. Due south on all sites is approximately 41 degrees off east/west axis. The maximum deviation off axis for optimum efficiency of solar collectors is 12 degrees. (The configuration shown on Panel 3 positions the buildings in this fashion.) Thus, the building orientation for each site transverses it diagonally, in turn decreasing the possibilities of varying the massing configurations, especially at Site A. Prevailing Summer wind patterns indicate a south, southeasterly flow. The buildings again benefit by this orientation. The schemes presented represent a logical use of the site parameters while attempting as much variation in the massing as possible.

The exterior building design is characterized by features reminiscent of vernacular coastal construction, railings, wood trim, decorative lattice, deep overhangs and dormers.

The rotation of the unit plan to 60 degrees off axis provides an interesting variation to the standard ganging of such unit types. This formation increases acoustical privacy, provides a more effective plan for air circulation and establishes what amounts to a small private porch in front of each unit out of the way of the heavily trafficed walkway.



The floor plan provides a basic kitchen and bathroom in a unit of 12 feet wide by 27'-6" long. The plans in the presentation indicate various furniture configurations. Operable windows at each end of the units will provide adequate ventilation.

Structural System

The buildings will be designed to resist all required gravity and lateral loads and will be wind resistive construction designed to withstand coastal wind loading. The structural system will consist of prefabricated roof trusses, wood floor system with structural steel as required, supported by a wood pile foundation system. Lateral loads will be resisted by a boring system concealed within the walls which transfers the load into the pile foundation.

Mechanical System

General

This facility, with minimum exterior glass creates an excellent thermal envelope and will be designed to be functional and versatile for many years.

In light of the current and future energy problems, as well as operating cost, the design of the building and its systems are being undertaken to insure full consideration of the impact of energy on this facility over the long term.

The energy utilization of any facility is a product of many inter-related factors including the building envelope (orientation, shade, construction, etc.), the environmental parameters (lighting levels, temperature, ventilation, etc.), and the methods of building use (occupancy periods, controls, etc.).

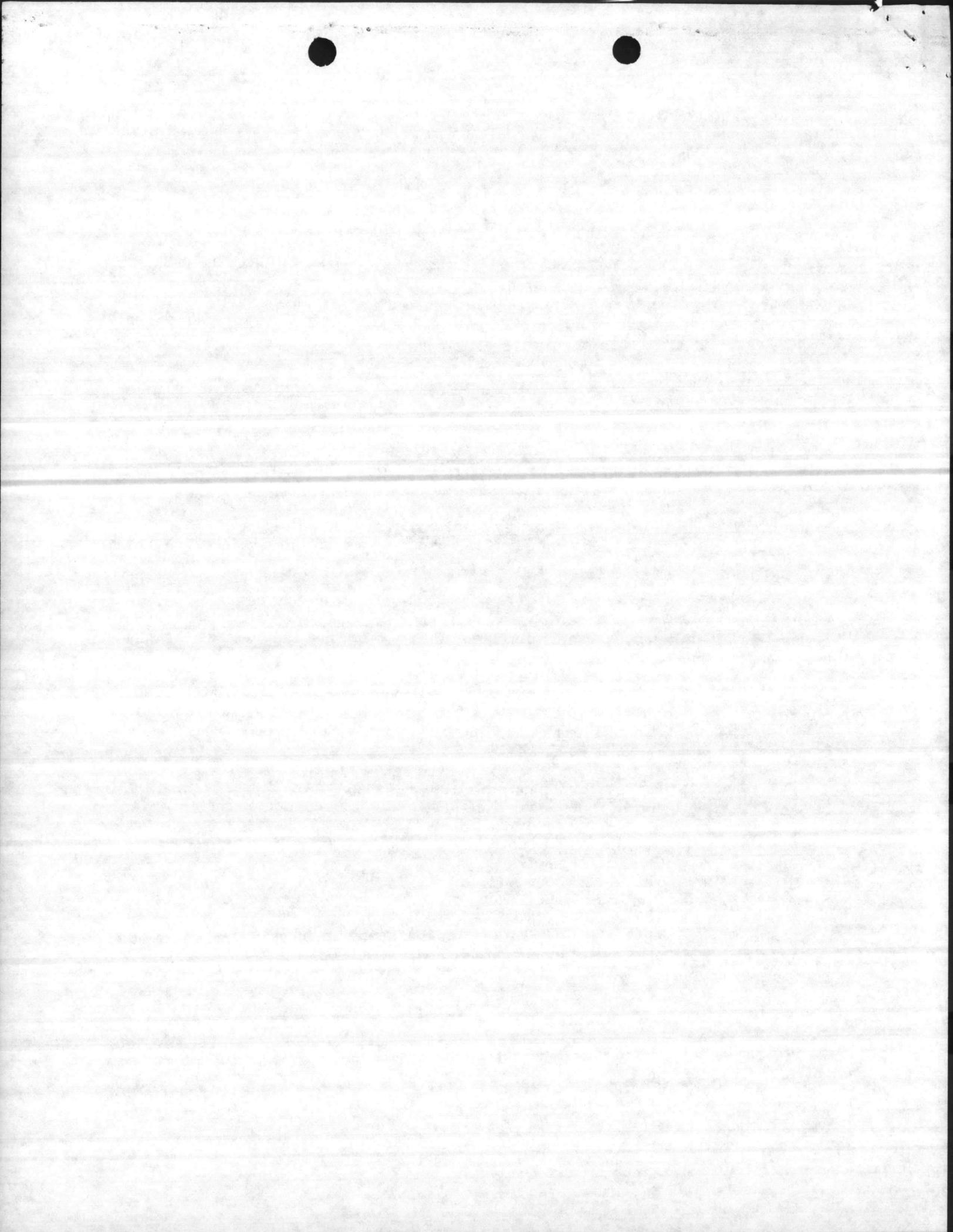
Thermally, the proposed wall and roof construction yields a heat transfer factor (U-Factor) of not more than 0.10 BTU/HR/SF⁰F. The high quality glazing coupled with minimum acceptable glass useage and deep overhangs significantly reduces the heat gain/loss.

To a large extent, the energy efficiency of a building hinges on the design decisions. But, beyond that, the way in which a building is used can dramatically affect energy useage.

Heating, Ventilating and Air Conditioning

The entire building will be air conditioned with the exception of the Equipment Rooms, Storage Rooms, and Janitor Storage Closets.

All habitable areas will be heated, ventilated and air conditioned with through wall high efficient air to air heat pumps. Individual units will permit operation of air conditioning only during occupied periods.



Plumbing Systems

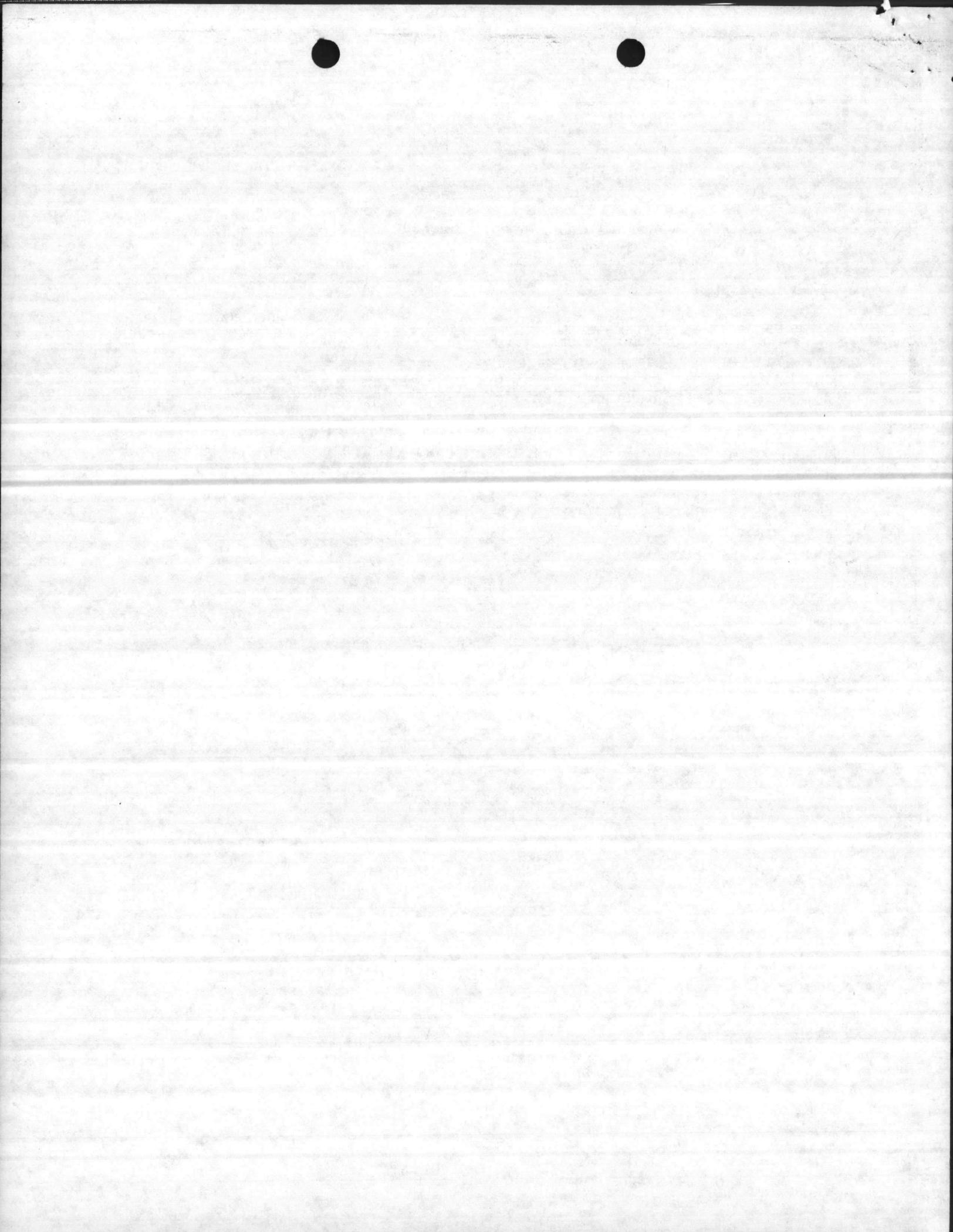
Soil, waste and vent piping will be standard weight pipe extended to the central sanitary sewer system.

Domestic water piping will be hard drawn copper pipe extended from the central water supply system.

Electrical Systems

Incoming service to the projects shall be provided underground from the existing power system at the site. Transformers will be pole mounted or pad mounted as applicable. Service voltage will 102/208 volts, 3 phase.

The existing 2400 volt overhead electrical line on the beach, runs along Ocean Boulevard. It is fed through a line which runs from the Intercoastal Waterway Bridge to Highway 172. This is a 12,470 volt capacity line, but is only carrying 2400 volts. This line terminates at a substation located at the intersection of Highway 172 and Onslow Beach Boulevard. When the size of the buildings is finally determined and the type of heating equipment selected an estimated load calculation will be added to the existing distribution system in the area. It is highly likely that revisions to the electrical distribution facilities to the Onslow Beach area will be required as a result of the added load of this project.



- All available site maps / restrictions
- Aerial Photos
- Restrictions on Intercoastal Waterway - right of way
- Ocean restrictions / Corp of Engineers
- Army Ecological Data

- Utilities
 - water
 - SEWER
 - power

287927
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 957860

- CANA Regulations

816-1

- Flood Plain regulations

287941
 287973

- Geotechnical Data

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PW# 13089
 PW# 13475

PWD# 13890

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Blec.

PWD# 12876
 PWD# 12891

Date	Project
Section	Sheet Of
Calc. by	Checked by

FOR GEORGE F. HOGGARD
P.O. Box 6398
PORTSMOUTH, VA. 23703

1 - OVER ALL BASE MAP

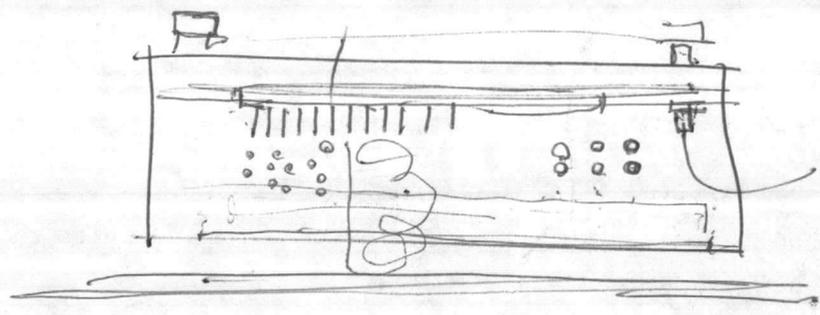
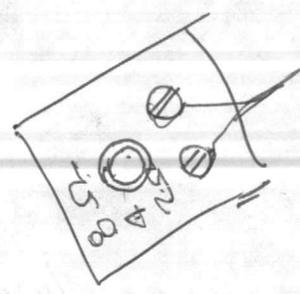
1 - WATER & SEWER MAP OF BEACH AREA

1 - ANY OTHER SUITABLE SITE MAP

Telephone dwg no. 2501 -

FOR - GEORGE F. HOOPER
P.O. BOX 6988
PORTSMOUTH, VA. 23703

- 1 - OVER ALL BASE MAP
- 1 - WATER & SEWER MAP OF BEACH AREA
- 1 - AND OTHER SUITABLE SITE MAP



Mtg Oct 10/13/83

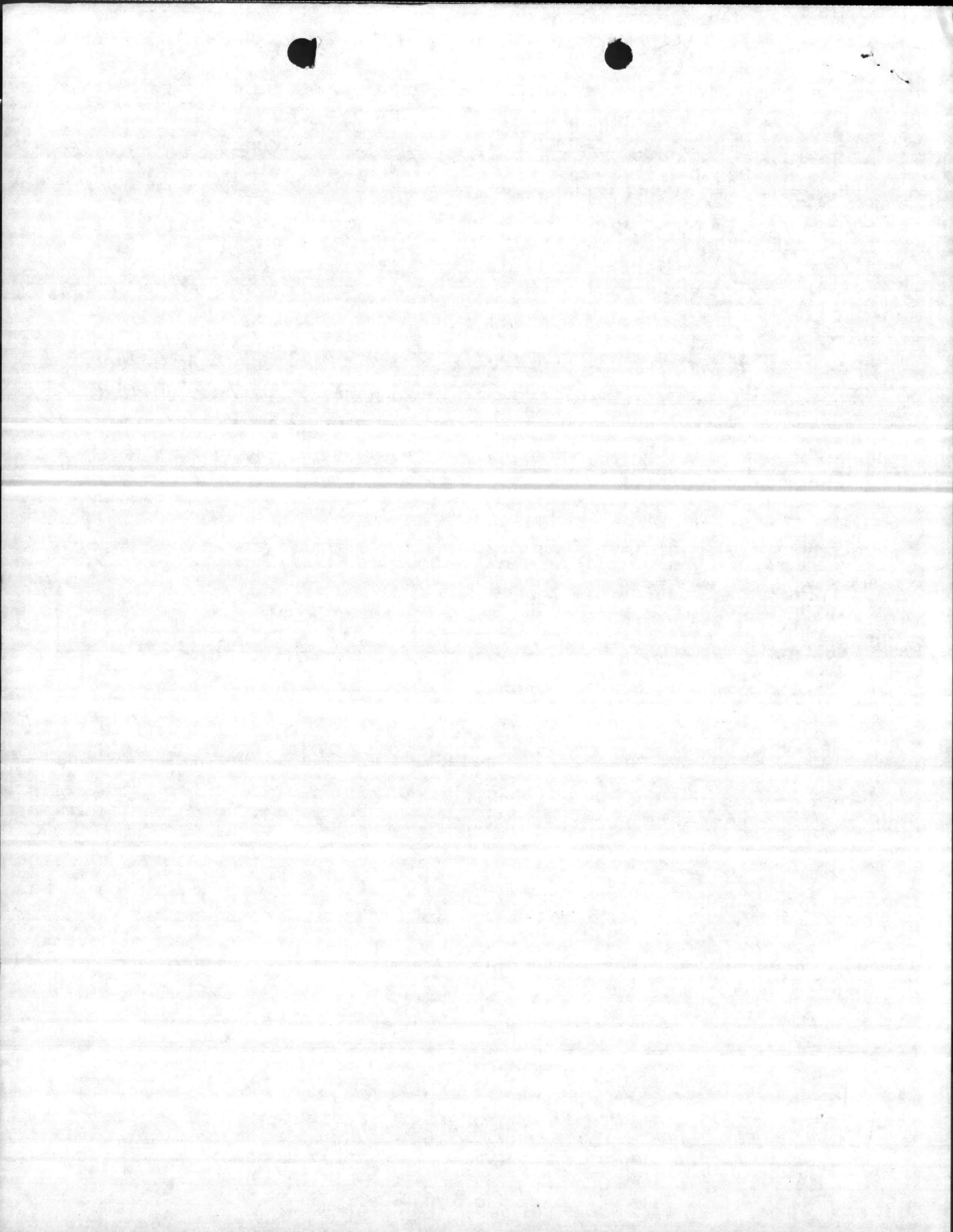
10/13/83

NAME

AFFILIATION

PHONE NO.

<u>NAME</u>	<u>AFFILIATION</u>	<u>PHONE NO.</u>
MAXEY L. BRYANT	LANTNAVFAC	(804) 444 9670
DAVID G. WEATHERLY	LANTDIV	(804) 444-9701
HAROLD ED HAWKINS	HQMC (MSR)	202-694-2450
LARRY STALLINGS	PW DEPT.	(919) 451-3658
E L ROUSE	PW DEPT	451-2213
E.G. JONES	PWD	451-1833
CHARLES E PYE	HQMC (CODE LFF-1)	202-694-1929
MIKE M. HODGES	HQMC (CODE: MSS)	(202) 694-2733
Bruce B. NASE	NAVFACENGCOM GRS228	221-0981 (Auto)
BOB ALEXANDER	ENV ENGR, MCB	AV 484-3034/2544
E.L. FOX	BSS	2106/2108
T. J. DALZELL, COL	BSS	2106/2108
Steve Talkenbury	APAC Clark Tribble dLi	704-333-6686
DAVE WAGNER	C/Arch.	" " "
Phil Antis	"	" " "
George Hoggar d	Hoggar d Addison Ave.	" " "



PLANNING BRANCH ACTION CHIT

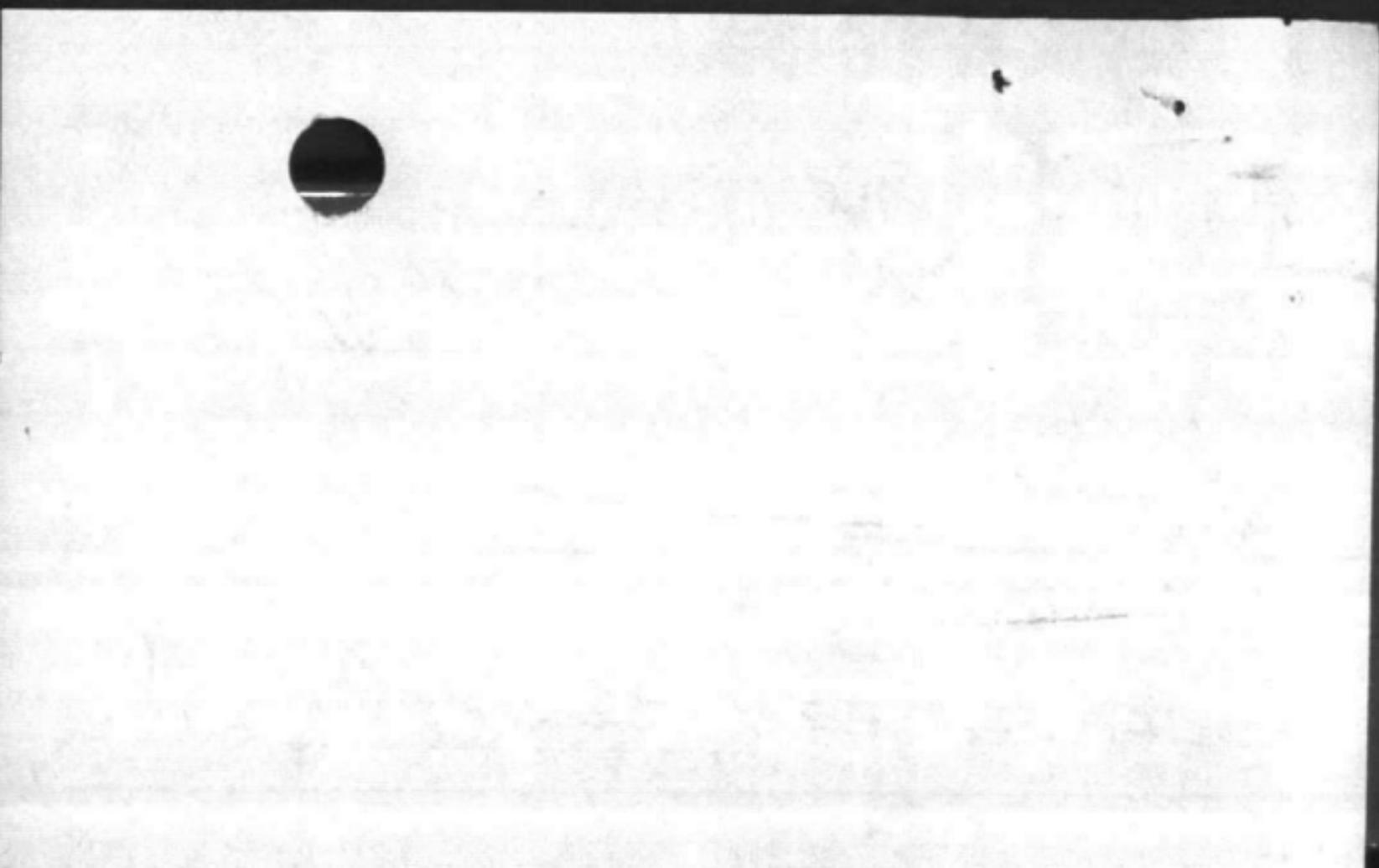
LOGGED BY: Mary ON: 10/19/84

EGJ SA

BJS _____

~~BJD~~ George

~~ACTION GIVEN TO:~~ Return to Larry Stalling



CONFERENCE MEMORANDUM

File P-775

PROJECT: Onslow Point Recreational Lodge
N-436-84, Our Job 583103

DATE: October 14, 1983

COMMENTS:

A predesign conference was held on 13 October, 1983 commencing at 0900 hours at the Public Works Office, Camp LeJeune Marine Corps Base, North Carolina. Those persons listed on Enclosure 1 were in attendance.

The Government project manager, Mr. M. L. Bryant of NAVFAC-LANTDIV chaired the meeting whose purpose was to provide the AE with information to prepare his fee proposal. The following points were discussed and guidance provided to the AE as indicated:

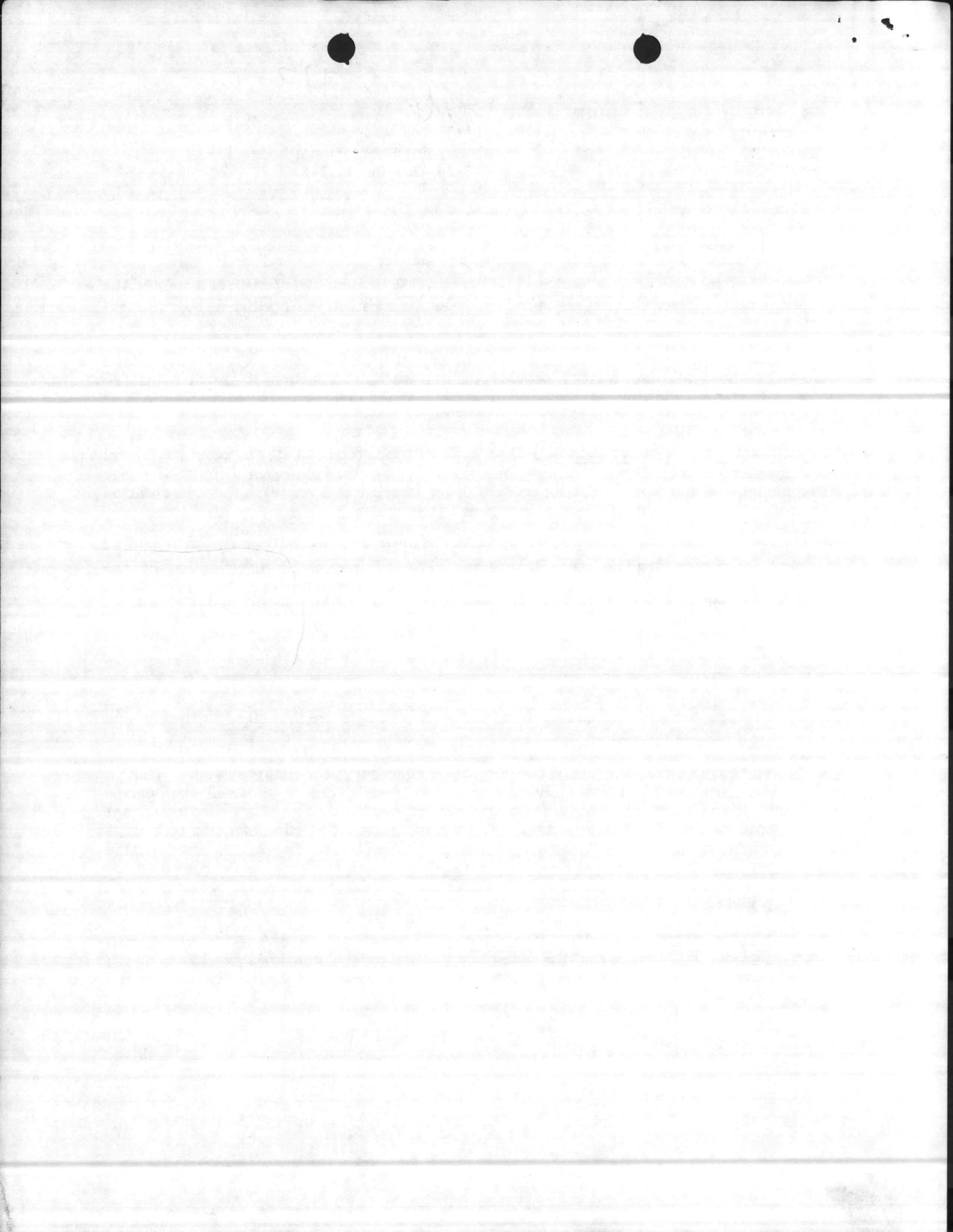
I. CONCEPT PRESENTATION - The AE will be required to prepare a formal presentation, to include presentation boards, rendering, etc. for presentation to the base Commanding General and staff along with other interested agencies. This presentation must include a minimum of three concepts as listed below:

- A. A concept indicating locations of facilities as shown in the programming documents, i.e. four locations. The AE requested clarification of the number of units since the 1391 indicated 80 units, but the included sketches only indicated 76. Four additional units will be added to the enlisted personnel area providing a total EM space of 32 units.
- B. A conceptual design showing a consolidation of the administrative area with the EM area.
- C. A concept indicating what the AE believes is the most desirable and attractive configuration.

II. The base personnel brought up suggestions concerning the HVAC systems. The AE was directed to utilize individual units, preferably through the wall heat pumps with studies to be made of various types of automatic cut-offs to insure vacant units were not utilizing energy. The AE indicated utilization of these type units might not meet NAVFAC energy conservation criteria. The AE was assured the project manager of NAVFAC would coordinate with their mechanical department to insure that this type of unit would be acceptable and no lost effort or redesign would be required.

III. ARCHITECTURAL CONFIGURATION - Discussion with regard to the overall complex, the desires of the users and the approval authority was held with the following guidance being furnished:

- A. All units must view the ocean.
- B. 1391 indicates two-story configuration, cypress or cedar siding would be acceptable.



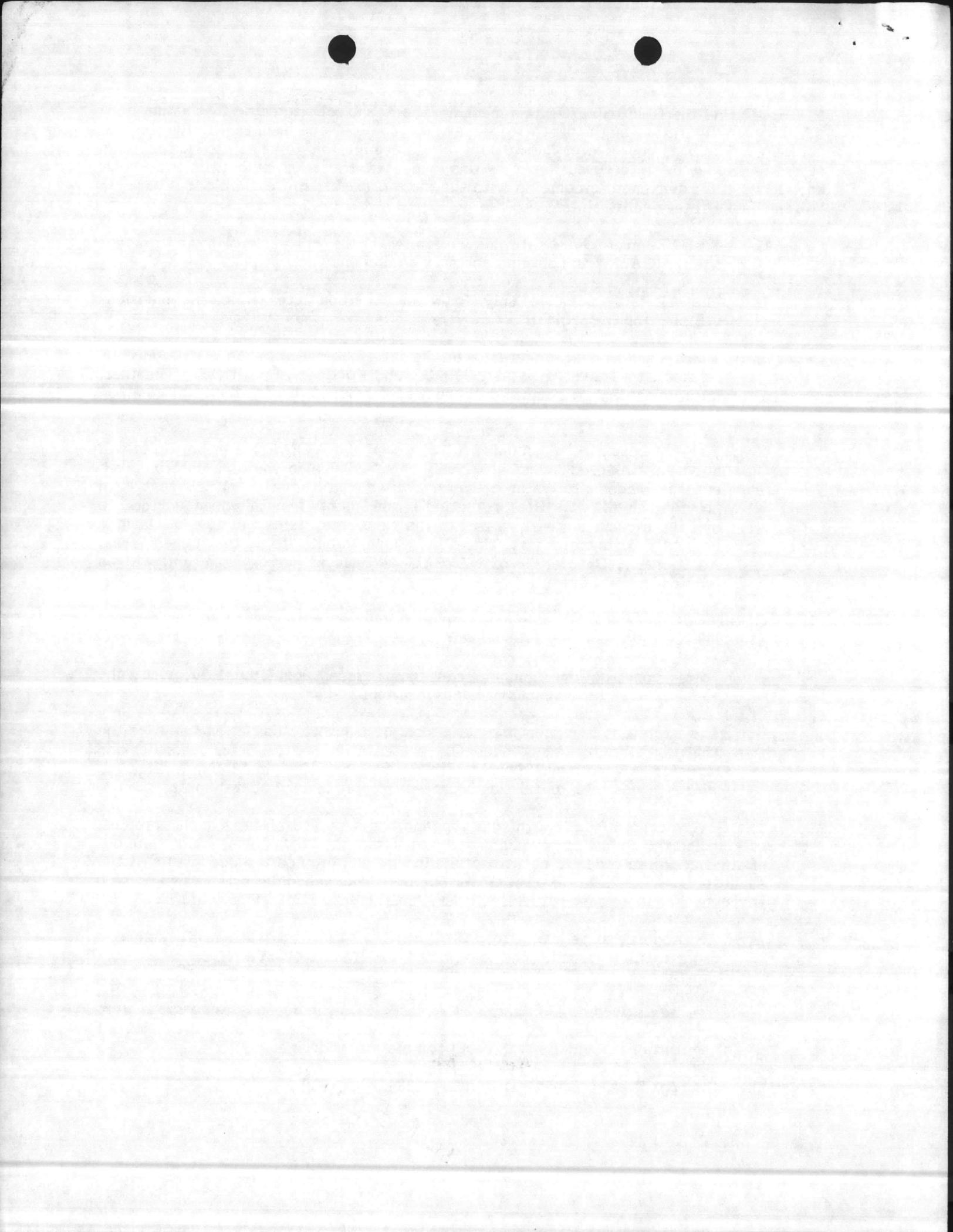
NOTE: During the field trip after this meeting, the Architect suggested that a one-story on piling configuration might prove to be most economical and architecturally pleasing approach. The base coordinator indicated if we determine this to be so then probably no objection would be interposed since it was expected the AE would utilize his past knowledge and experience to come up with the most desirable recreation lodges possible within the budgetary constraints.

- C. The AE must coordinate his design with the state coastal management agency (CAMA) and obtain necessary plan agency approvals of any design.
- D. The AE is responsible only for demolition on sites which he envisions utilizing for the project.
- E. There should be no difference in the interior configuration of the units as related to enlisted staff, NCO and officer facilities. Further, interconnection of units will not be provided other than in common passageway or balconies.
- F. Fire protection requirements will conform to NAVFAC criteria. Units will not be sprinklered unless absolutely required due to the high cost involved and the inadequate water pressure available at the site. Mr. Bryant is to provide the AE with fire protection requirements from his headquarters, to include information with regard to the existing systems and how an alarm is presently enunciated at the Fire Department from the beach area. Additionally, Chapter 18 of NAVFAC 4270, most current addition, will be provided by Mr. Bryant.

IV. CONSTRUCTION AMOUNT - After much discussion with regard to the GFE of \$350,000 the following was determined:

- A. Total construction amount can not exceed \$2,440,081.20 vice the \$3,052,000.08 furnished as previous guidance.
 - B. The Architect is responsible for a complete interior design package for the \$350,000 GFE to include necessary presentation boards, color schedules and layouts. AE will work closely with the user to effect maximum utilization, wherever possible, of existing sources of supply under Federal contract.
- V. The Government, after recognizing slippage has occurred already in this project, established the following schedule, with the assurance of the AE who cut time out of final design in order to negate total slippage and provide the documents at the earliest possible date to the Government. The schedule established, which envisions 30 and 45 days respectively for Government reviews is as follows:
- A. AE proposal to be submitted ASAP but NLT the first week in November in order to allow negotiations to be concluded by 13 November.
 - B. Award of Contract NLT, 28 November. It should be noted that the representatives of MSS and NAVFACENCOM, indicated design funds were already available thus the earliest submittal of fee and conclusion of negotiations would assist in early completion of design.
 - C. Concept Presentations - 15 January 1984.

PROB. 15 APR
SLIP ± 2 MARKS



- D. 35% Design Submittal - 22 March 1984. *1500 - NOWAY*
- E. Government Review Comments and completion of 35% - 26 April 1984.
- F. 90% Design Submittal - 2 July 1984.
- G. 90% Government Review Comments - 16 August 1984.
- H. 100% Completion of Contract Documents - 16 September 1984.

NOTE: The Architect emphasized the importance of receipt of complete and coordinated comments from all agencies so that no backtracking or redesign would be required. Assurances were received from the Government that this would be accomplished. Further, the Government and the AE agreed that the final interior design package would be submitted with the 35% design for necessary reviews and approvals. The AE noted that the using services must immediately develop the programming data for the administrative support areas so that they would be available for the initial site visits, which in accordance with the above schedule is tentatively planned for the first week in December, 1983. He emphasized that nonavailability prior to this time could cause delays in concept presentation. All parties agreed that the major design effort will be during the conceptual and 35% design portions with production of contract documents based on approved designs being the major effort after the 35% design stage.

The AE was advised that the contact person at the installation would be Mr. Larry Stallings, Architect, in the Public Works Department at LeJeune, with Mr. Gene Jones being the alternate contact point.

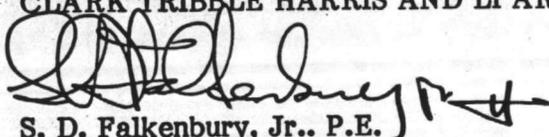
The joint meeting was concluded at 1040 hours on the 13th with the AE representatives, accompanied by Mr. Stallings, visiting the project area which resulted in the following requests for information from the installation:

- A. Information requested by Surveyor/Civil Engineer is at Enclosure 2.
- B. Information requested by the AE is at Enclosure 3. Further the AE requested prevailing wind data be obtained so that facilities could be oriented to permit proper cross ventilation.

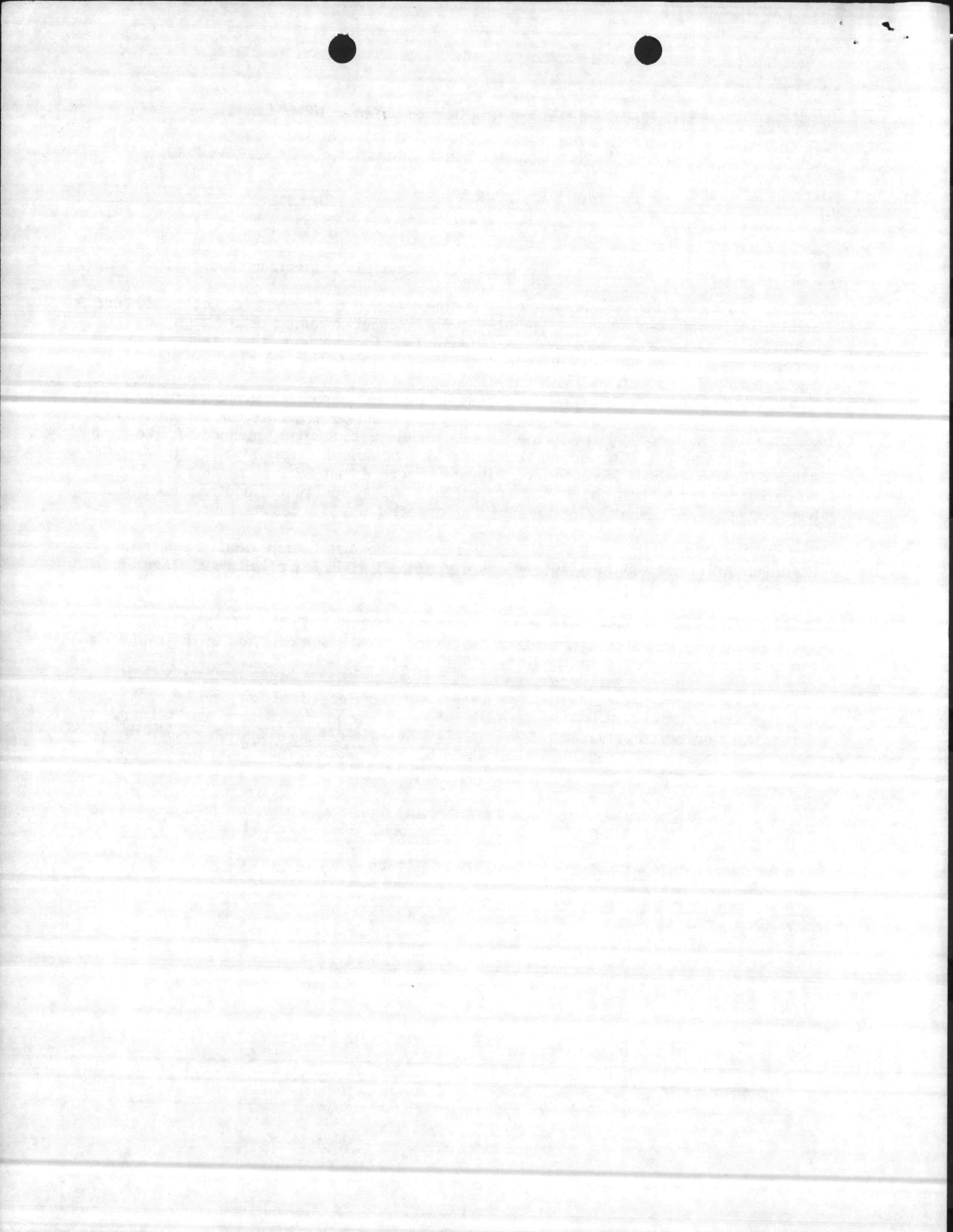
NOTE: The AE was assured that the foregoing information, which is necessary to properly prepare the estimated fee for services, would be mailed on 14 October.

The AE departed Camp LeJeune at approximately 1300 hours on 13 October.

CLARK TRIBBLE HARRIS AND LI ARCHITECTS, P.A.

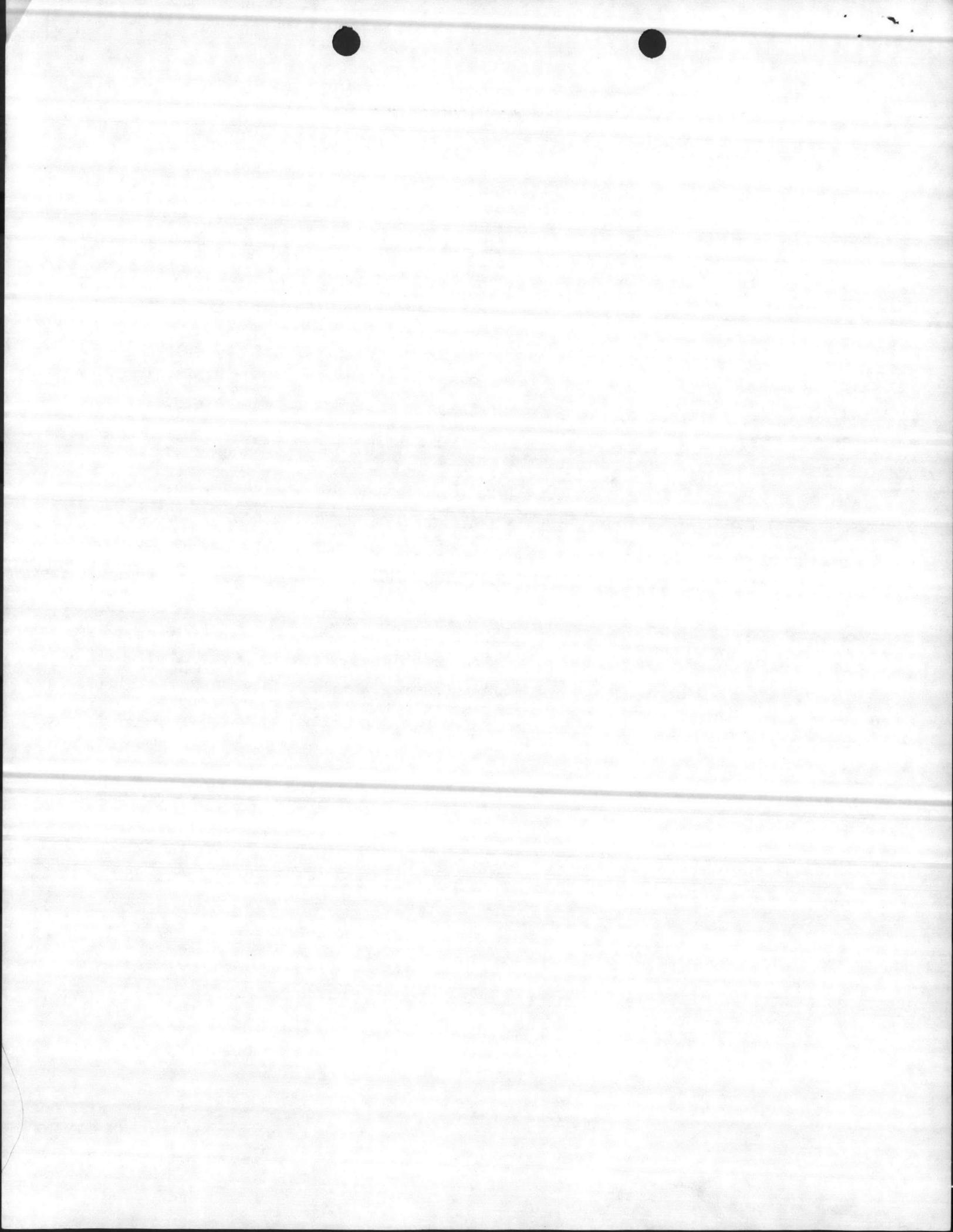

S. D. Falkenbury, Jr., P.E.
Assistant Project Manager

cc: M. Bryant - NAVFAC-LANTDIV
Erwin B. Nase - NAVFACENCOM
L. Stallings, Public Works Department, Camp LeJeune
H. Hawkins, Marine Corp Headquarters, D.C.



ENCLOSURE 1

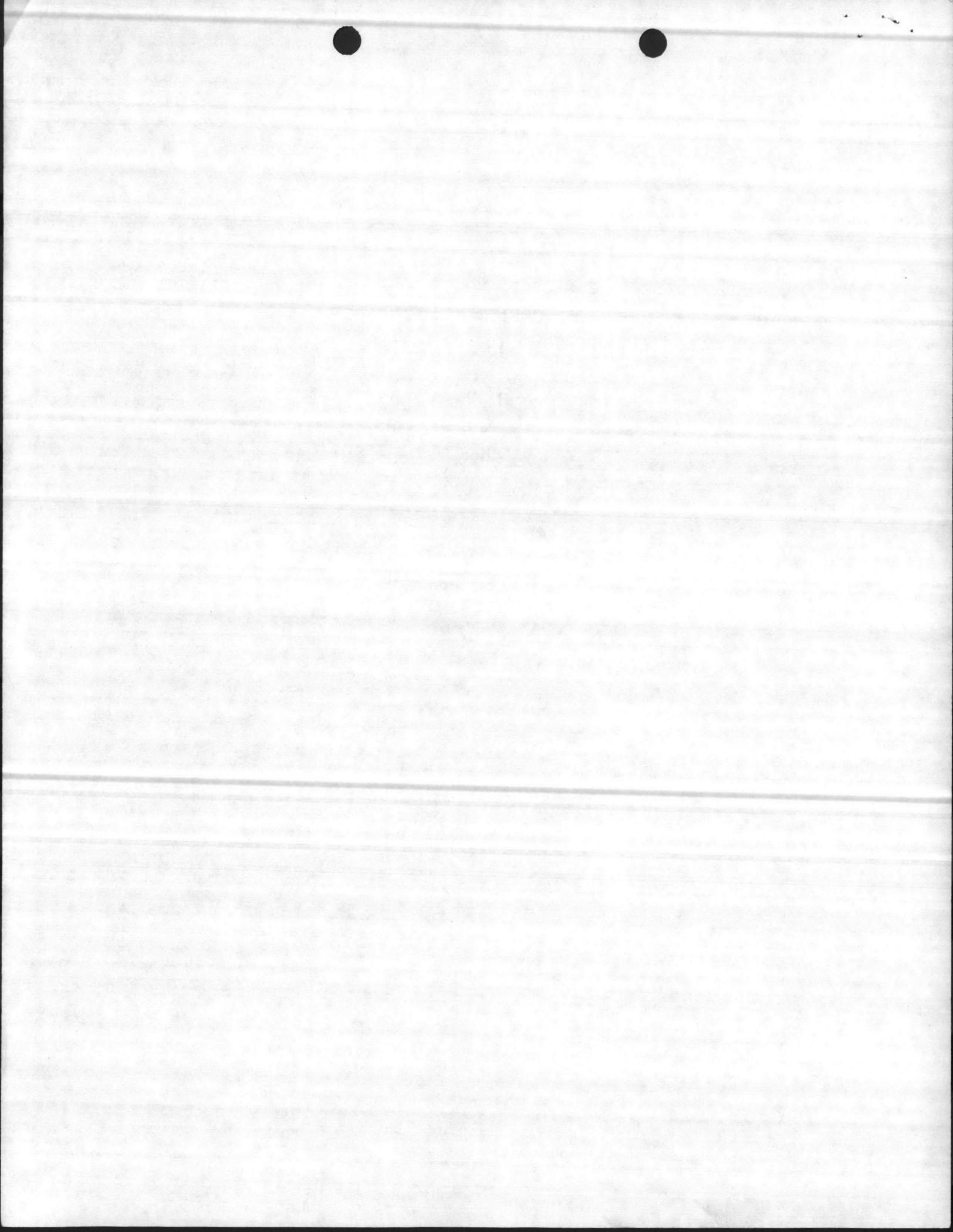
<u>NAME</u>	<u>AFFILIATION</u>	<u>PHONE NUMBER</u>
Maxey L. Bryant	LANTNAVFAC	(804) 444-9670
David G. Weatherly	LANTDIV	(804) 444-9701
Harold Ed Hawkins	HQMC-Code MSS Washington, DC 20380	(202) 694-2450
Larry Stallings	PW Dept.	(919) 451-3658
E. L. Rouse	PW Dept.	(919) 451-2213
E. G. Jones	PW Dept.	(919) 451-1833
Charles E. Pye	HQMC-Code LFF-1 Washington, DC 20380	(202) 684-1829
Miles M. Hodges	HQMC-Code MSS Washington, DC 20380	(202) 694-2733
Erwin B. Nase	NAVFACENGCOM-Code 0522B	(202) 221-0981
Bob Alexander	ENV ENGR, MCB	AV 484-3034 (2544)
E.L. Fox	BSS	(919) 451-2106
T.J. Dalzell, Col.	BSS	(919) 451-2108
Steve Falkenbury, A/PM	Clark Tribble Harris & Li	(704) 333-6686
Dave Wagner, C/Arch.	Clark Tribble Harris & Li	(704) 333-6686
Phil Antis	Clark Tribble Harris & Li	(704) 333-6686
George Hoggard	Hoggard Addison & Associates	(804) 484-9670



ENCLOSURE 2

FOR: GEORGE F. HOGGARD
POST OFFICE BOX 6398
PORTSMOUTH, VA 23703

- 1 - Overall Base Map
- 1 - Water & Sewer Map of Beach Area
- 1 - Any Other Suitable Site Map



ENCLOSURE 3

All Available Site Maps/Restrictions

Aerial Photos

Restrictions On Intercoastal Waterway - Right of Way

Ocean Restrictions/Corps of Engineers

Any Ecological Data

Utilities

water

sewer

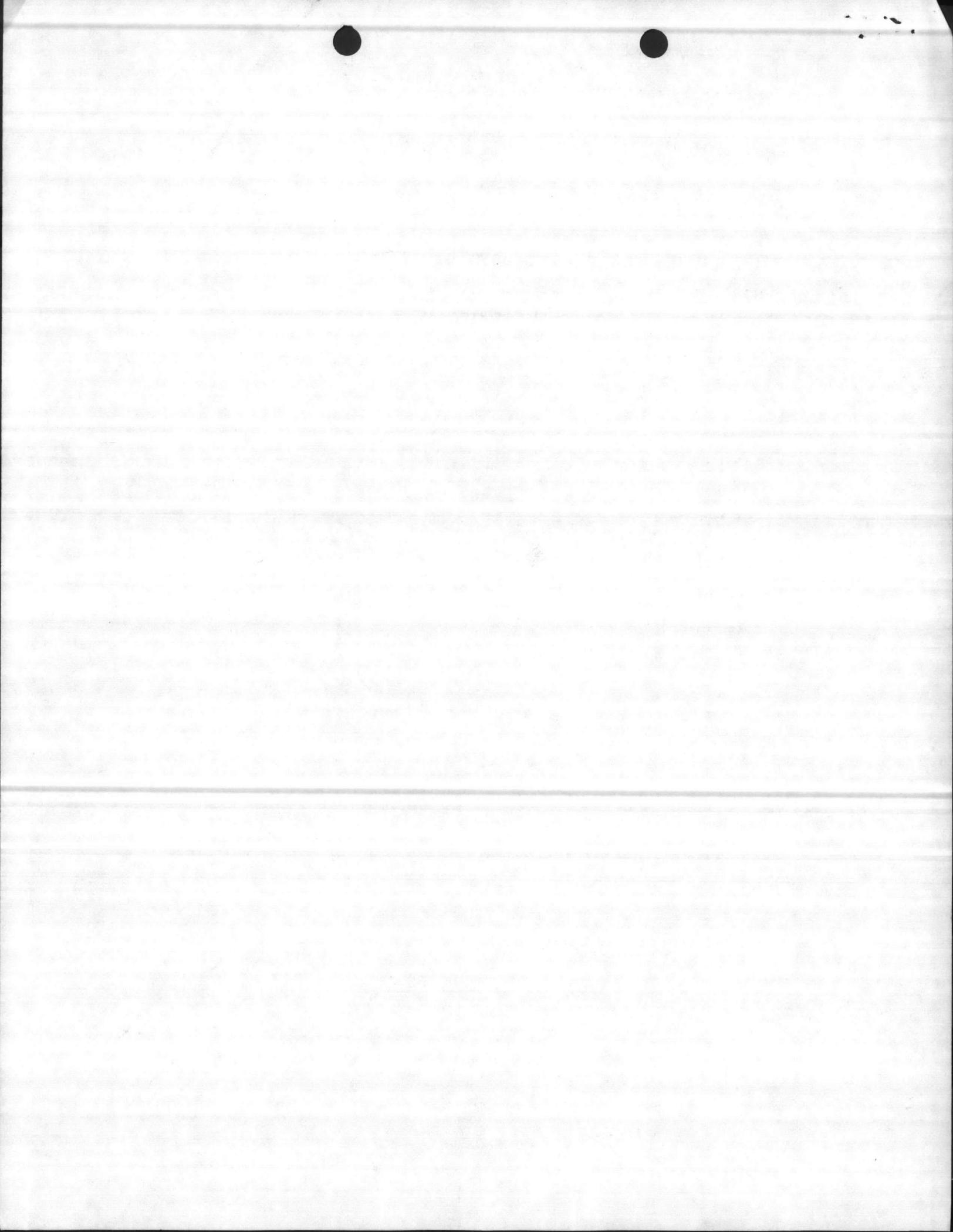
power

CAMA Regulations

Flood Plain Regulations

Geotechnical Data

Prevailing Wind Data



FY 1984 MILITARY CONSTRUCTION PROJECT DATA

2. DATE

5 MAY 82

1. INSTALLATION AND LOCATION

MARINE CORPS BASE
CAMP LEJEUNE, NC 28542

4. PROJECT TITLE

RECREATIONAL LODGE/MOTEL,
ONslow BEACH AREA

5. PROGRAM ELEMENT

6. CATEGORY CODE

7. PROJECT NUMBER

8. PROJECT COST (\$000)

740-81

N-436/P-775

\$3,400

9. COST ESTIMATES

ITEM	U/M	QUANTITY	UNIT COST	COST (\$000)
RECREATIONAL LODGE	SF	34,056	67.80	\$2,422.9
MOTEL UNITS	SF	32,460	51.02	(1,879)
ADMINISTRATIVE BLDG	SF	1,596	50.75	(81)
BUILT-IN EQUIPMENT	LS	-	-	(520)
SOLAR HOT WATER SYSTEM	LS	-	-	(52)
SUPPORTING FACILITIES	LS	-	-	333
SPECIAL CONSTRUCTION FEATURES	LS	-	-	(91)
UTILITIES	LS	-	-	(121)
SITE IMPROVEMENTS	LS	-	-	(121)
SUBTOTAL	LS	-	-	2,755.9
CONTINGENCY (5%)	LS	-	-	137.8
TOTAL CONTRACT COST	LS	-	-	\$2,893.7
SUPERVISION, INSPECTION & OVERHEAD-5.5%	LS	-	-	159.1
TOTAL REQUEST	LS	-	-	\$3,052.8
EQUIPMENT PROVIDED FROM OTHER APPR	-	-	-	(350)
A&E SERVICE (design - 12%)	LS	-	-	347.2
PROJECT COST (ROUNDED)	LS	-	-	\$3,400

10. DESCRIPTION OF PROPOSED CONSTRUCTION

Two-story frame buildings, wood siding, pile foundations, bedroom units with bathroom, kitchenette and lounge area. One-story frame building, wood siding, pile foundation Administrative Building. Provide all required exterior/interior utilities, site improvements and demolition.

11. REQUIREMENTS: 66,640 SF, Adequate: 0 SF, Substandard: 32,584 SF

PROJECT: Provide a multi-unit recreational lodge/motel with administrative office on Onslow Beach. (Total of 80 units divided into three buildings.)

REQUIREMENTS: A facility is needed to replace 23 mobile home trailers and other substandard facilities being utilized as recreational lodges.

CURRENT SITUATION: The mobile home trailers are deteriorated and rusted out and the other facilities are in need of repair.

IMPACT IF NOT PROVIDED: Military and retired personnel and their dependents will be compelled to continue utilizing substandard facilities resulting in continued low morale.

DD FORM 1391
1 DEC 76

PREVIOUS EDITIONS MAY BE USED INTERNALLY
UNTIL EXHAUSTED

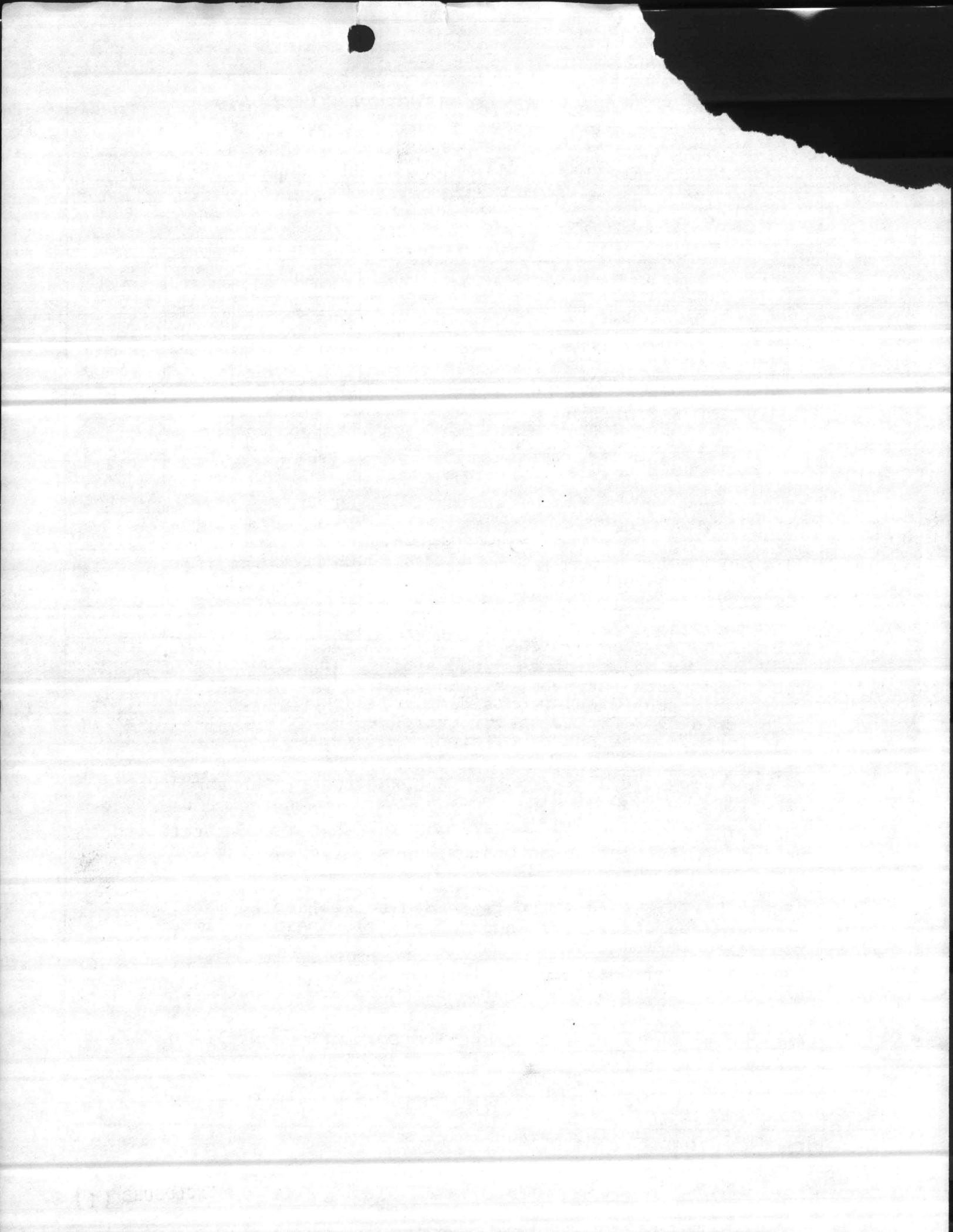
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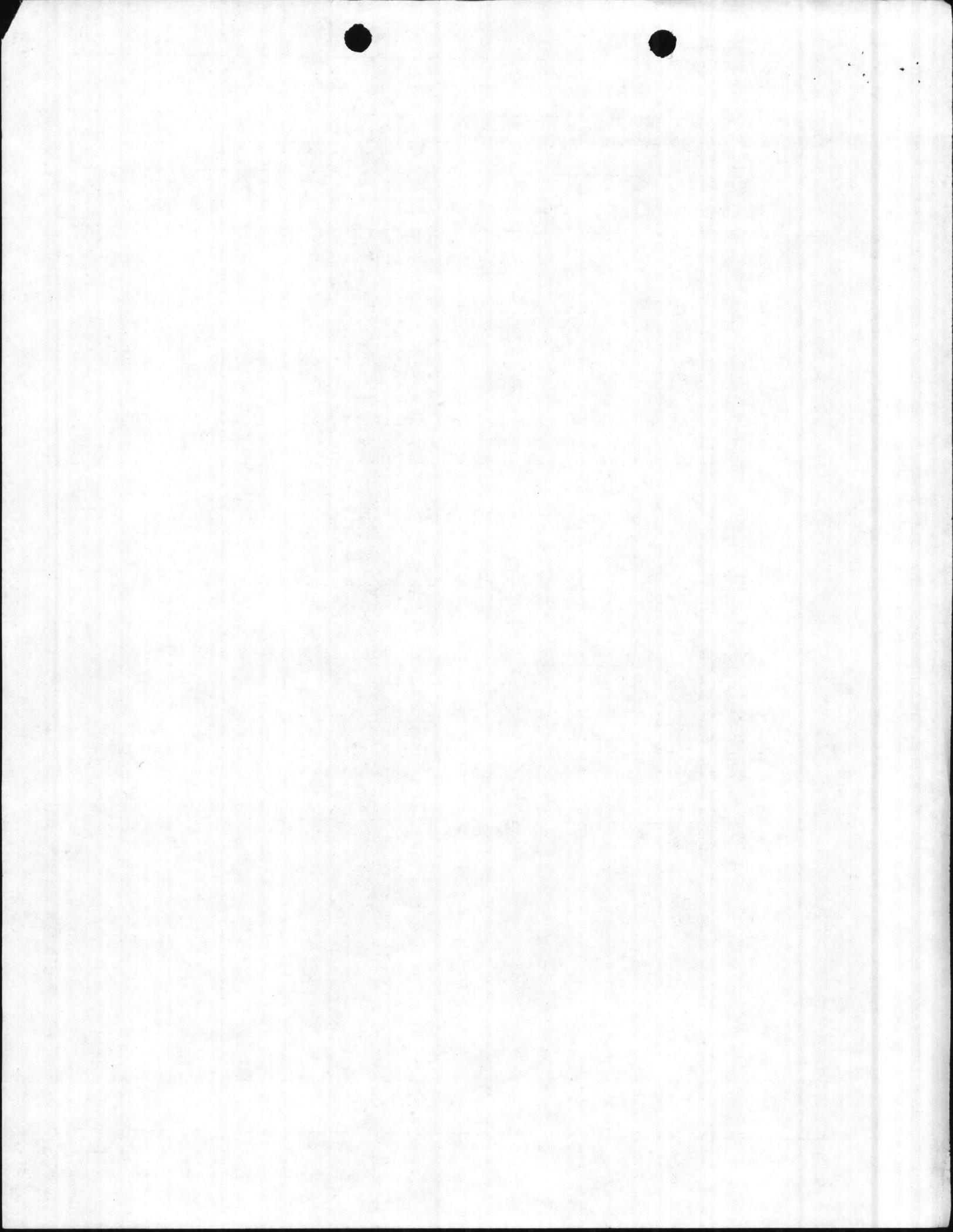
U.S. GOVERNMENT PRINTING OFFICE: 1980-603-189/7929 2-1

ENCLOSURE (1)

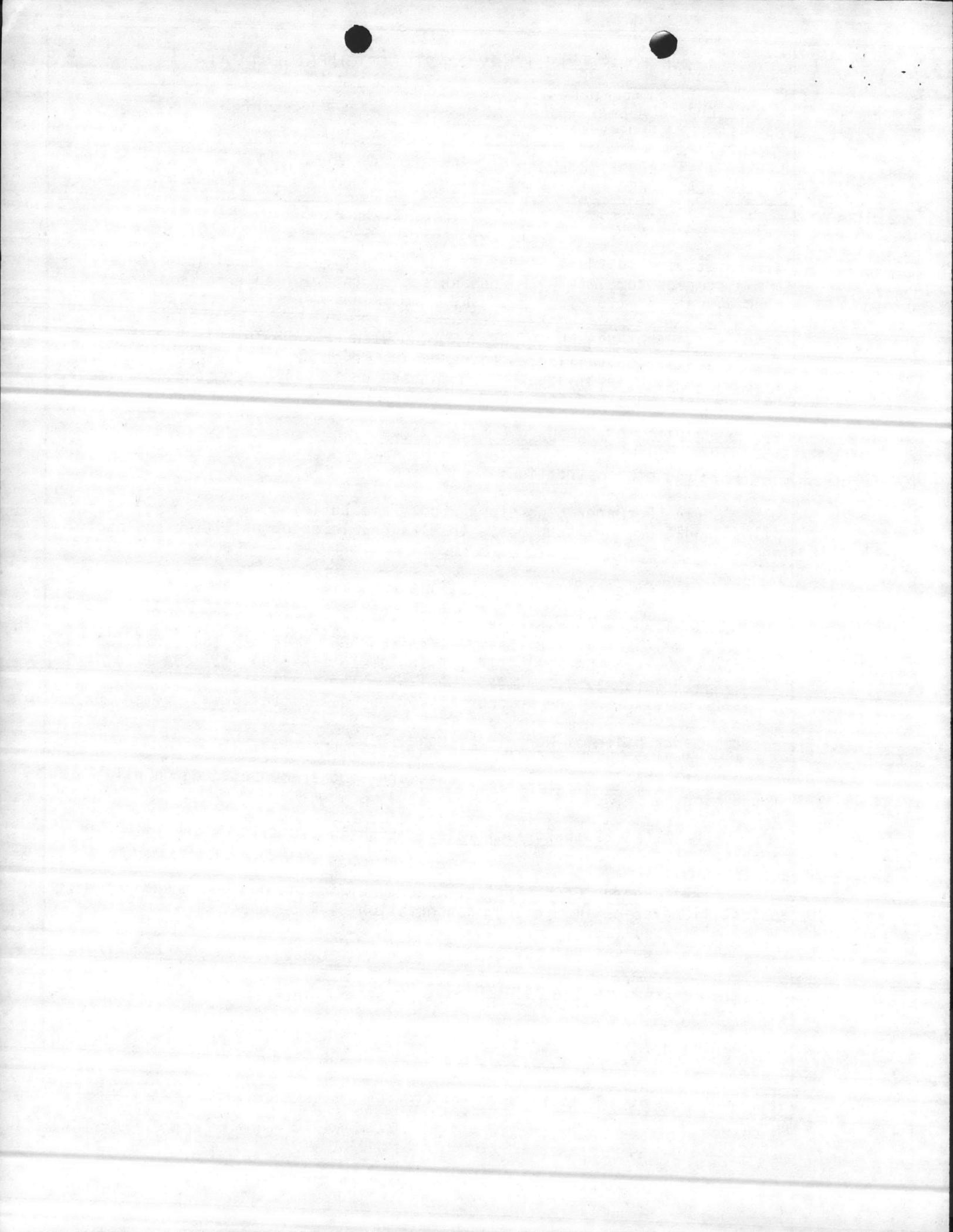
APPROVED BY HQMC (CODE MSMS-4)
B. S. M. [Signature]
 DATE: 1 MAR 1983



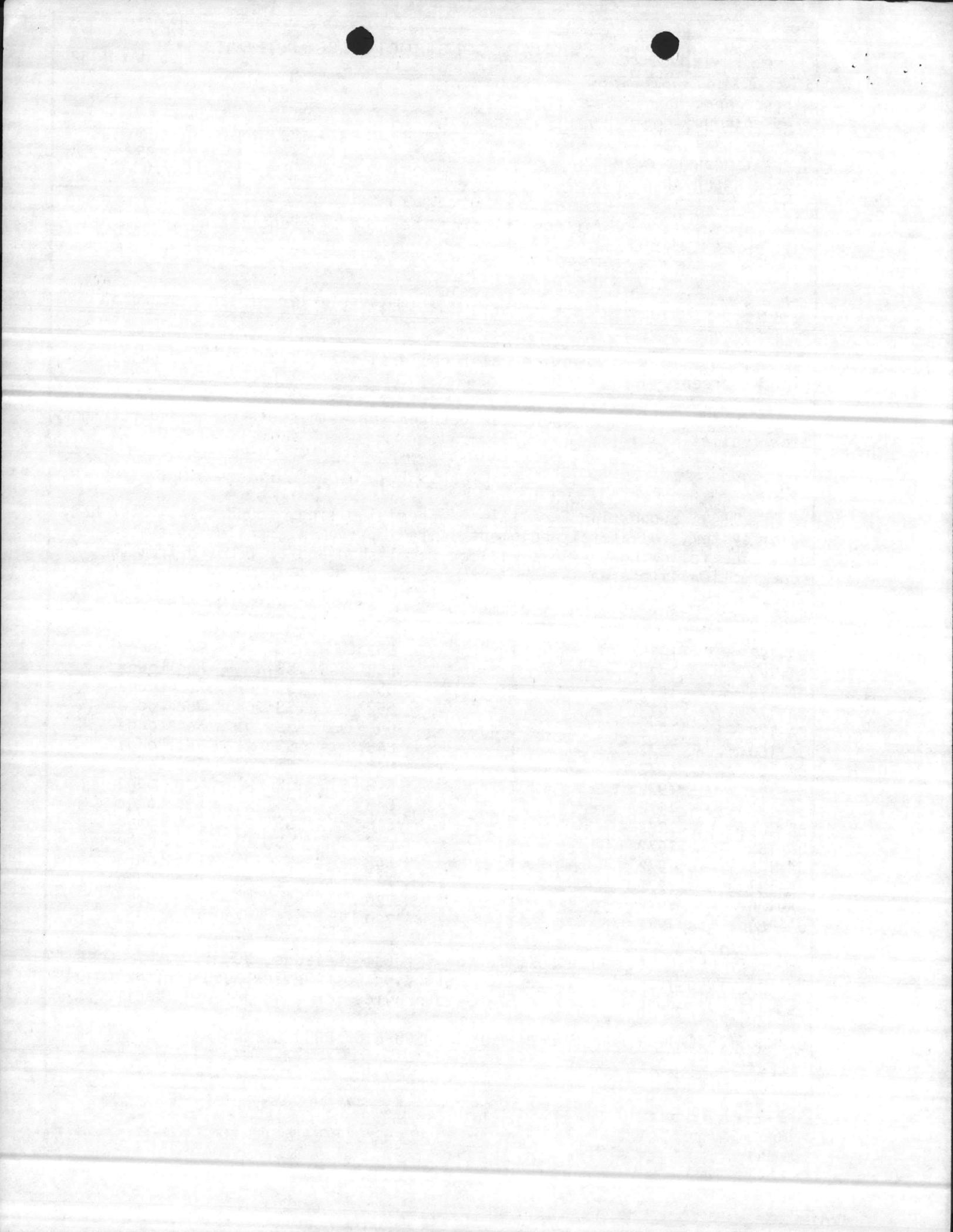
1. COMPONENT NAVY	FY 19 <u>84</u> MILITARY CONSTRUCTION PROJECT DATA	2. DATE 5 MAY 1982
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, ONSLOW BEACH AREA	5. PROJECT NUMBER N-436/ P-775	
<p style="text-align: center;"><u>SPECIAL CONSIDERATIONS</u></p> <ol style="list-style-type: none"> 1. <u>Pollution Prevention, Abatement, and Control</u>: This project will not cause additional air or water pollution. 2. <u>Flood Hazard Evaluation</u>: Requirements of Executive Order No. 11296 (Flood Hazards) are not applicable. 3. <u>Environmental Impact</u>: The project Environmental Impact Assessment will be written and processed through the local EIA Review Board. No significant adverse impact is anticipated. 4. <u>Fallout Shelter Construction</u>: Fallout shelter protection is not incorporated in this project. 5. <u>Design for Accessibility of Physically Handicapped Personnel</u>: Provisions for physically handicapped personnel are incorporated in this project. 6. <u>Use of Air Conditioning</u>: Ceiling "U" factors will be made to conform with DOD 4270.1-M. 7. <u>Preservation of Historical Sites and Structures</u>: This project does not directly or indirectly affect a district, site, building, structure, object, or setting which is listed in the National Register or otherwise possesses a significant quality of American history. 8. <u>"New Start" Criteria for Commercial or Industrial Activities Program (OMB Circular A-76)</u>: Not applicable. 		



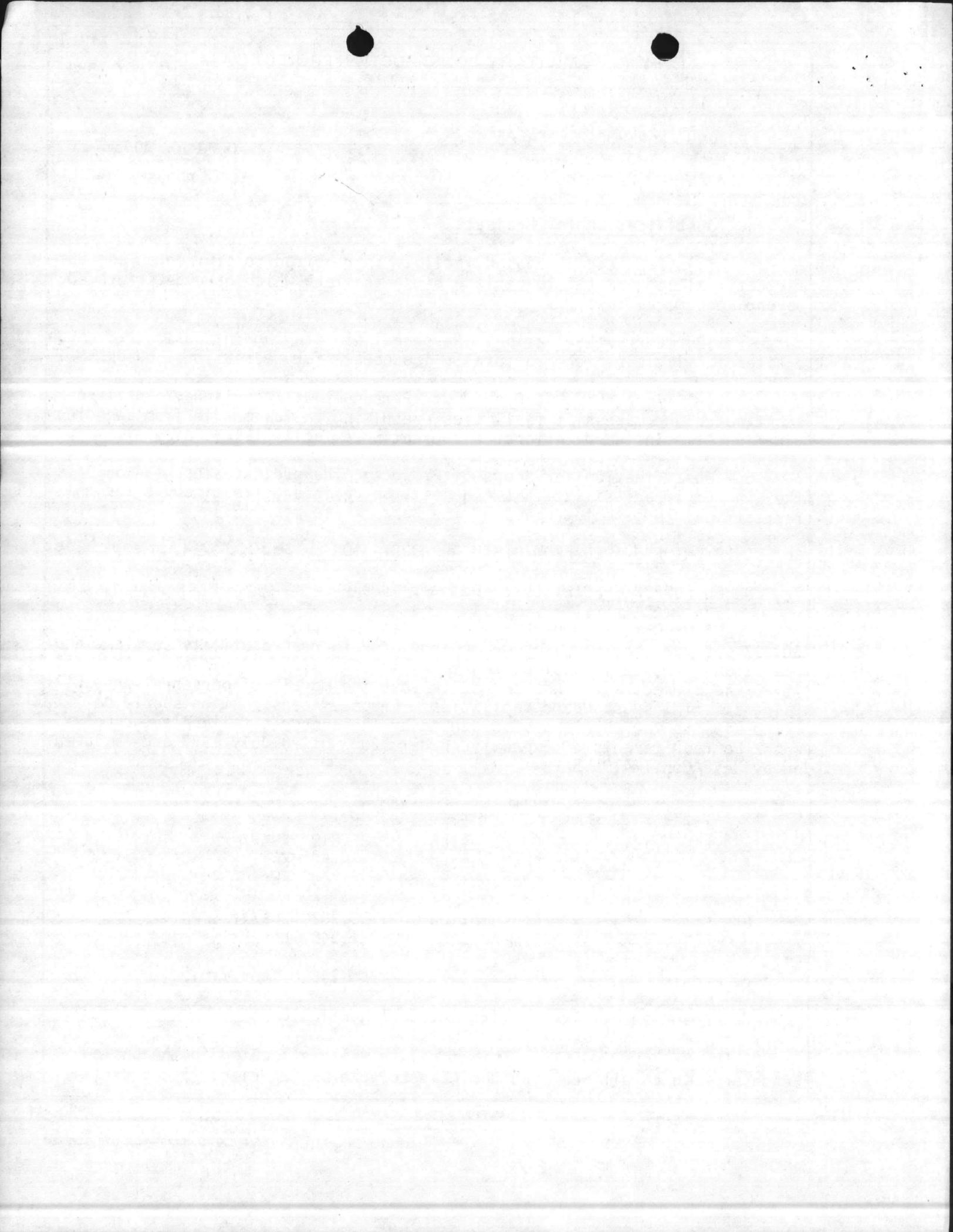
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<p><u>FACILITY STUDY</u></p> <p>1. <u>PROJECT</u>: Provide a 34,056 SF, multi-unit recreational lodge/motel/ admin complex complete with vending space, interior/exterior utilities, special construction features, and site improvements.</p> <p>2. <u>CURRENT AND PLANNED FUTURE WORKLOAD WITH REGARDS TO THIS PROJECT</u>: The facility will be utilized 24 hours daily, seven days a week and the duration of need is indefinite. The proposed units will accommodate military, retired personnel and dependents.</p> <p>3. <u>DESCRIPTION OF PROPOSED CONSTRUCTION</u>:</p> <p style="padding-left: 40px;">a. <u>Type of Construction</u>:</p> <p style="padding-left: 80px;">(1) Permanent two-story wood frame building, wood siding, carpet, pile foundation, built-up roof, insulation, interior utilities and appliances.</p> <p style="padding-left: 80px;">(2) Lighting, exterior utilities, site improvements, etc.</p> <p style="padding-left: 40px;">b. <u>Replacements</u>: This project will replace Trailers #5 (BA-189), #6 (BA-188), #7 (BA-187), #8 (BA-186), #9 (BA-185), #10 (BA-184), #11 (BA-183), #12 (BA-182), #13 (BA-181), #14 (BA-180), #15 (BA-179), #17 (BA-172), #19 (BA-174), #20 (BA-175), and #21 (BA-176). The trailers were put on site in 1972 and 1973 and are in poor condition, deteriorated and rusted out.</p> <p style="padding-left: 40px;">c. <u>Description of Work to be Done</u>:</p> <p style="padding-left: 80px;">(1) <u>Primary Facility</u>: Two-story wood frame building on pile foundation.</p> <p style="padding-left: 120px;">(a) <u>Support Facilities</u>: Lighting, utilities and site improvement.</p> <p style="padding-left: 80px;">(2) <u>Energy Conservation</u>: Energy efficient equipment and building orientation for maximum energy conservation will be used.</p> <p style="padding-left: 80px;">(3) <u>Collateral Equipment</u>:</p> <p style="padding-left: 120px;">(a) <u>Built-in: Project Funded</u>:</p>		



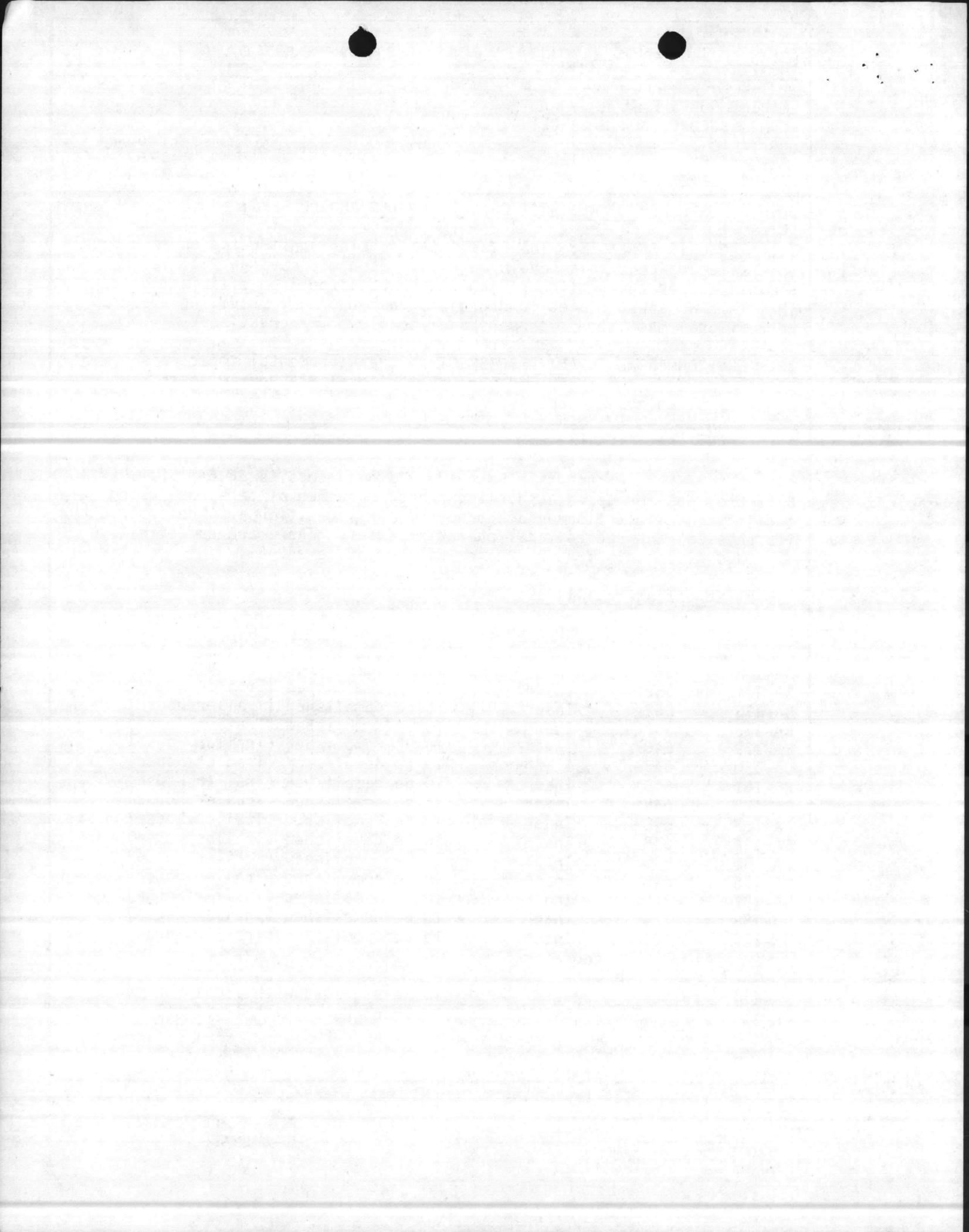
1. COMPONENT NAVY	FY 1984 MILITARY CONSTRUCTION PROJECT DATA	2. DATE 5 MAY 1982																																																																																																
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<p style="text-align: center;">Air conditioning, heating and ventilating systems. Plumbing. Telephone, fire alarm, sprinkler, TV and intercom systems. Drinking water coolers, metal frames with windows and window screens. Kitchenette, counter top with stove, sink and refrigerator (built-in).</p>																																																																																																		
(b) <u>Expense Item:</u> Nonappropriated funds - NONE																																																																																																		
<p>(4) <u>Supporting Facilities:</u> Special piling, foundation, solar hot water system, collateral equipment, site improvement, pollution abatement, etc. The following trailers will be demolished and/or removed from the construction site area.</p>																																																																																																		
<table border="1"> <thead> <tr> <th><u>BLDG NO.</u></th> <th><u>CONSTR.</u></th> <th><u>TYPE CONSTR.</u></th> <th><u>SF</u></th> <th><u>COND.</u></th> <th><u>USE.</u></th> </tr> </thead> <tbody> <tr><td>BA-172</td><td>1973</td><td>T</td><td>552</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-174</td><td>1973</td><td>T</td><td>552</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-175</td><td>1973</td><td>T</td><td>552</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-176</td><td>1973</td><td>T</td><td>552</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-179</td><td>1972</td><td>T</td><td>648</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-180</td><td>1972</td><td>T</td><td>648</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-181</td><td>1972</td><td>T</td><td>648</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-182</td><td>1972</td><td>T</td><td>648</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-183</td><td>1972</td><td>T</td><td>648</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-184</td><td>1972</td><td>T</td><td>648</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-185</td><td>1972</td><td>T</td><td>648</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-186</td><td>1972</td><td>T</td><td>648</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-187</td><td>1972</td><td>T</td><td>720</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-188</td><td>1972</td><td>T</td><td>720</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-189</td><td>1972</td><td>T</td><td>720</td><td>SS</td><td>Rec Lodge</td></tr> </tbody> </table>	<u>BLDG NO.</u>	<u>CONSTR.</u>	<u>TYPE CONSTR.</u>	<u>SF</u>	<u>COND.</u>	<u>USE.</u>	BA-172	1973	T	552	SS	Rec Lodge	BA-174	1973	T	552	SS	Rec Lodge	BA-175	1973	T	552	SS	Rec Lodge	BA-176	1973	T	552	SS	Rec Lodge	BA-179	1972	T	648	SS	Rec Lodge	BA-180	1972	T	648	SS	Rec Lodge	BA-181	1972	T	648	SS	Rec Lodge	BA-182	1972	T	648	SS	Rec Lodge	BA-183	1972	T	648	SS	Rec Lodge	BA-184	1972	T	648	SS	Rec Lodge	BA-185	1972	T	648	SS	Rec Lodge	BA-186	1972	T	648	SS	Rec Lodge	BA-187	1972	T	720	SS	Rec Lodge	BA-188	1972	T	720	SS	Rec Lodge	BA-189	1972	T	720	SS	Rec Lodge		
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<p>4. <u>COST ESTIMATE:</u> Area cost factor for Camp Lejeune, NC, is 0.95. Cost data derived from the Military Construction Cost Review Guide, FY-82 (DOD 4270.1-CG), and escalated to FY-83 to provide for this proposed facility.</p>																																																																																																		
<p>5. <u>JUSTIFICATION FOR PROJECT AND FOR SCOPE OF PROJECT:</u></p>																																																																																																		



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<p>a. <u>Justification for Project:</u></p> <p>(1) <u>Project:</u> Proposed facility is required to provide an adequate recreational lodge/motel to replace house trailers which have deteriorated beyond economical repair.</p> <p>(2) <u>Current Situation:</u> Personnel are staying in substandard house trailer facilities which are totally inadequate for recreational needs.</p> <p>(3) <u>Impact if Not Provided:</u> Personnel will continue to utilize substandard and makeshift facilities, resulting in low morale from spending vacation time in the deteriorated recreational facilities (trailers).</p> <p>b. <u>Justification for Scope of Project:</u> The project scope (34,056) is the minimum size facility that can meet the deficiency requirement for the recreational lodge/motel needs of the Base. (See item 13.)</p> <p>6. <u>EQUIPMENT PROVIDED FROM OTHER APPROPRIATIONS:</u> \$350,000 (Appropriated)</p> <p>7. <u>COMMON SUPPORT FACILITIES:</u> Not applicable.</p> <p>8. <u>EFFECT ON OTHER RESOURCES:</u> The project will require approximately \$8,497 per year in increased O&MMC funds for increased utility services and operations. No additional personnel will be required to operate this facility. The project will enhance and improve the morale of personnel presently using existing substandard facilities. Proposed construction should be responsive to the challenges presented by the energy situation and comply with the requirements of Executive Order 12003 of 20 July 1977 and implemented by NAVFACINST 4100.5A.</p> <p style="text-align: center;"><u>UTILITY REQUIREMENTS</u></p> <table border="0"> <tr> <td>a. Electricity</td> <td>Consumption</td> <td>83,819</td> <td>KWHR/yr</td> </tr> <tr> <td></td> <td>Peak Demand</td> <td>52</td> <td>KW</td> </tr> <tr> <td></td> <td>Average Demand</td> <td>48</td> <td>KW</td> </tr> <tr> <td>b. Steam</td> <td>Consumption</td> <td>3,759,752</td> <td>Lbs/Yr</td> </tr> <tr> <td></td> <td>Demand</td> <td>1,346</td> <td>Lbs/Hr</td> </tr> <tr> <td>c. Coal</td> <td></td> <td>146.8</td> <td>Tons/Yr</td> </tr> <tr> <td>d. Adequate utility requirements are available.</td> <td></td> <td></td> <td></td> </tr> </table> <p>9. <u>SITING OF THE PROJECT:</u> This facility will be located in the Onslow Beach area in compliance with the Camp Lejeune Master Plan. (See Encl (1))</p>			a. Electricity	Consumption	83,819	KWHR/yr		Peak Demand	52	KW		Average Demand	48	KW	b. Steam	Consumption	3,759,752	Lbs/Yr		Demand	1,346	Lbs/Hr	c. Coal		146.8	Tons/Yr	d. Adequate utility requirements are available.			
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3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542					
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL ON SLOW BEACH AREA				5. PROJECT NUMBER N-436/ P-775	
10. <u>OTHER GRAPHIC PRESENTATIONS, INCLUDING PHOTOGRAPHS:</u> None.					
11. <u>ECONOMIC ANALYSIS:</u> This facility is being constructed on an undeveloped site adjacent to a developed area. Economic savings will be in nominal energy consumption savings to be realized from efficient operations. This is a nonappropriated fund project in support of providing adequate recreational facilities for personnel morale and recreation.					
12. <u>ENVIRONMENTAL IMPACT ASSESSMENT:</u> An environmental impact assessment will be written and processed through the local EIA Review Board. No significant adverse impact is anticipated.					
13. <u>QUANTITATIVE DATA:</u>					
a. <u>BFRL Requirements:</u> Basewide miscellaneous is 66,640 SF. NAVFAC P-80 provides for space authorized based on number of personnel using facility and limitation on occupancy of the recreation area determined by its physical and recreational characteristics. There are no definitive drawings given in NAVFAC P-272 for Category Code 740-81.					
b. <u>Existing Facilities:</u>					
<u>BLDG NO.</u>	<u>AREA SF</u>	<u>COND CODE</u>	<u>REMARKS</u>		
BA-172	552	Inad*	To be demolished (Trailer House)		
BA-174	552	Inad*	To be demolished (Trailer House)		
BA-175	552	Inad*	To be demolished (Trailer House)		
BA-176	552	Inad*	To be demolished (Trailer House)		
BA-179	648	Inad*	To be demolished (Trailer House)		
BA-180	648	Inad*	To be demolished (Trailer House)		
BA-181	648	Inad*	To be demolished (Trailer House)		
BA-182	648	Inad*	To be demolished (Trailer House)		
BA-183	648	Inad*	To be demolished (Trailer House)		
BA-184	648	Inad*	To be demolished (Trailer House)		
BA-185	648	Inad*	To be demolished (Trailer House)		
BA-186	648	Inad*	To be demolished (Trailer House)		
BA-187	720	Inad*	To be demolished (Trailer House)		
BA-188	720	Inad*	To be demolished (Trailer House)		
BA-189	720	Inad*	To be demolished (Trailer House)		
	10,200	Inadequate*			
BA-114	19,324	SS*	To be upgraded with local NAF funds		
BA-119	1,596	SS*	To be upgraded with local NAF funds		
BA-120	1,232	SS*	To be upgraded with local NAF funds		



1. COMPONENT NAVY	FY 19 84 MILITARY CONSTRUCTION PROJECT DATA	2. DATE 5 MAY 1982
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3. INSTALLATION AND LOCATION
MARINE CORPS BASE
CAMP LEJEUNE, NORTH CAROLINA 28542

4. PROJECT TITLE RECREATIONAL LODGE/MOTEL ON SLOW BEACH AREA	5. PROJECT NUMBER N-436/ P-775
--	--------------------------------------

<u>BLDG NO.</u>	<u>AREA (SF)</u>	<u>COND CODE</u>	<u>REMARKS</u>
BA-143	1,536	SS *	To be upgraded with local NAF funds
BA-144	3,152	SS *	To be upgraded with local NAF funds
BA-146	1,232	SS *	To be upgraded with local NAF funds
BA-147	772	SS *	To be upgraded with local NAF funds
SBA-142	3,740	SS *	To be upgraded with local NAF funds
	<u>32,584</u>	Substandard *	

* Facility is reflected as adequate in NAVFAC 10651 dated 31 October 1980 which is a misnomer and will be corrected on next document update.

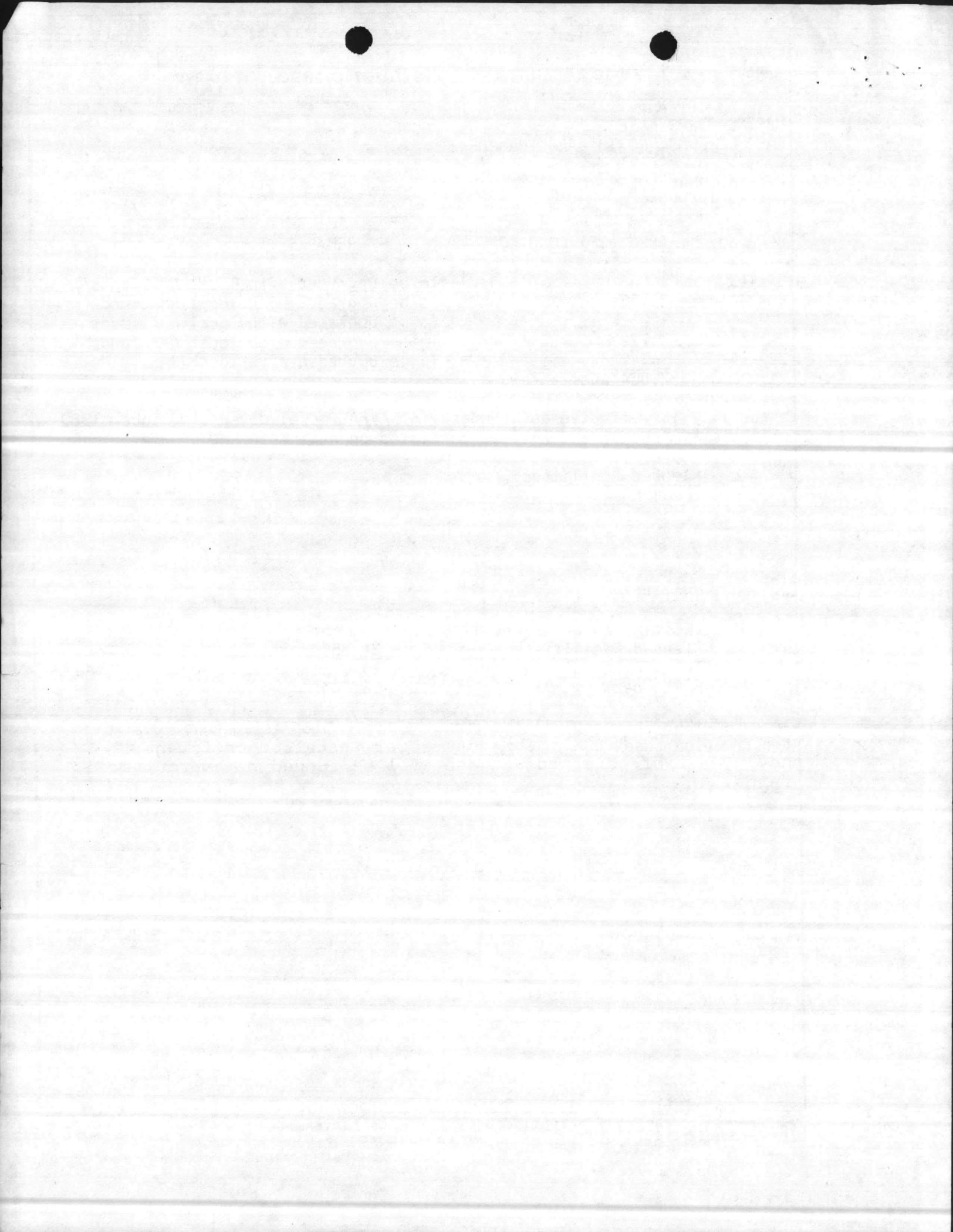
c. Planned Facilities:

<u>Project No.</u>	<u>Area SF</u>
P-775	34,056

d. Summary:

Existing Adequate Facilities:	0
Planned Facilities:	<u>34,056</u>
Total Planned & Existing:	<u>34,056</u>
BFRL Total:	66,640

14. FUNDING: Funding will be from the Non-Appropriated, Fund, Central Construction Fund, HQMC. Non-contractor installed equipment is not a part of this project and will be funded by appropriated funds.



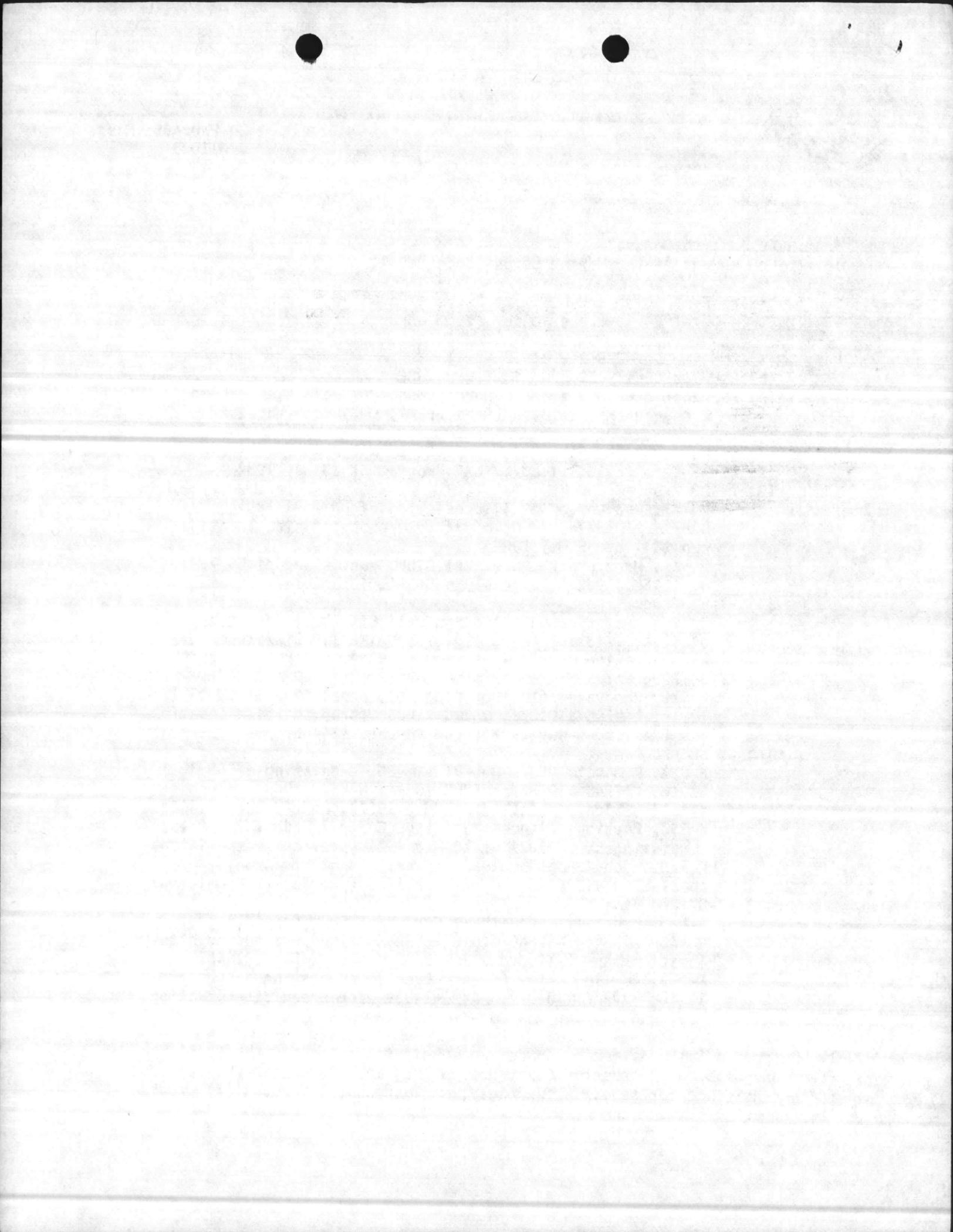


UNITED STATES MARINE CORPS
MARINE CORPS BASE
CAMP LEJEUNE, NORTH CAROLINA 28542

IN REPLY REFER TO
PWO:408:VM:sjr
11000
25 MAY 1982

- From: Commanding General
To: Commandant of the Marine Corps (Code LFF-1)
- Subj: Marine Corps Club and Military Recreation Nonappropriated Fund
(NAF) Construction Program for FY-83 through FY-87
- Ref: (a) CMC ltr LFF-JBB:law of 15 Mar 1982
(b) CMC ltr LFF-1-JBB:law of 30 Mar 1982
(c) Phonecon btwn Mr. V. Marshburn (Code 408, PubWks, MCB Camp Lejeune) and Mr. J. Bush (Code LFF-1, CMC) of 4 May 1982
- Encl: (1) Comments on the Camp Lejeune FY-83/87 NAF Program
(2) NAVMC Form 10956, FY-83/87 NAF Program of 13 May 1982
(3) FY-83 Program:
 P-775, Rec Lodge/Motel, consisting of DD 1391/1391c;
 NAVFAC 11013/7; and NAVMC 11069 w/proposed site location
 map (all dtd 5 May 1982)
 P-815, Montford Pt. Area Enl Club, consisting of DD 1391
 of 18 Feb 1982 (previously submitted)
(4) FY-84 Program:
 P-794, Roofs for Existing Handball Cts, Basewide, consisting
 of DD 1391/1391c; NAVMC 11013/7; NAVMC 11069 w/proposed
 site location map (all dtd 5 May 1982); and PW Dwg. #14486
(5) FY-85 Program:
 P-820, Renovate Enl Club, Bldg. 62, consisting of DD 1391/
 1391c; NAVFAC 11013/7; NAVMC 11069 w/proposed site location
 map (all dtd 5 May 1982); and PW Dwg. #14485
(6) FY-86 Program:
 P-821, Renovate NCO Club, Bldg. 425, consisting of DD 1391/
 1391c; NAVFAC 11013/7; NAVMC 10915; NAVMC 11069 w/proposed
 site location map (all dtd 5 May 1982); and PW Dwg. #14484
 P-298, Physical Fitness Facility, Central Hadnot Pt. Area,
 consisting of DD 1391 of 19 Mar 1981 (previously submitted)
 P-773, Hobby Shop Complex, Central Hadnot Pt. Area,
 consisting of DD 1391 of 19 Mar 1981 (previously submitted)
(7) FY-87 Program:
 P-823, Handball/Racquetball Cts, MP & CHB, consisting of
 DD 1391/1391c; NAVFAC 11013/7; NAVMC 11069 w/proposed site
 location maps (all dtd 5 May 1982); and PW Dwg. #14487
 P-259, Bowling Alley (French Creek), consisting of DD 1391/
 1391c; NAVFAC 11013/7; NAVMC 11069 w/proposed site location
 map; and PW Dwg. #14488

1. Reference (a) provided guidance and submission dates for the FY-83 through FY-87 NAF Club and Recreation Construction Program. Reference (b) provided further guidance for same. Accordingly, enclosures (1) through (7) provide the requested data.



11000
2 5 MAY 1982

Subj: Marine Corps Club and Military Recreation Nonappropriated Fund
(NAF) Construction Program for FY-83 through FY-87

2. More specifically, enclosure (1) provides comments concerning new projects or noteworthy changes to old projects. Enclosure (2) provides a summary of all projects for the five-year period FY-83 through FY-87. Enclosures (3) through (7) provide individual projects nominated for a specific fiscal year, beginning in FY-83. As directed by reference (c), previously-submitted projects are not included herein and are so indicated with an asterisk on the NAVMC 10956 form. However, the DD 1391 forms for these projects are included for continuity.

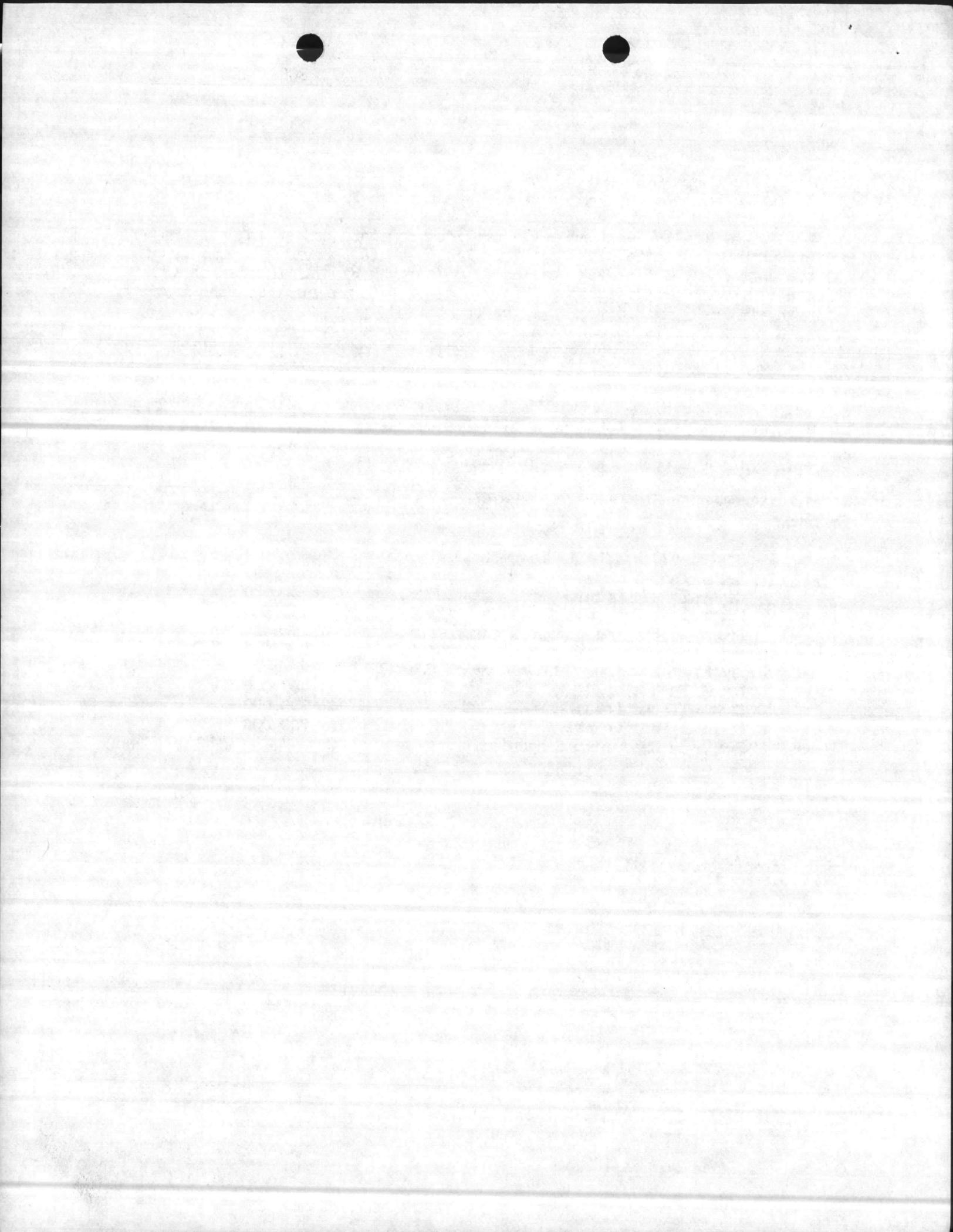
3. Camp Lejeune's Five-Year Club and Military Recreation NAF Program consists of nine projects, for a total cost of \$12.4 million dollars. This level of funding is required to meet the goal of satisfying morale, welfare, and recreational deficiencies by end of FY-87.

4. The proposed funding plan for the new projects shown in enclosure (7) is as follows:

a. P-823 (FY-87) Handball/Racquetball Courts		\$ 305,000
Local funds:	\$ 152,500	
Central Fund Loan:	0	
Central Fund Grant:	\$ 152,500	
Proposed Repayment Schedule:	None	
b. P-259 (FY-87) Bowling Alley (French Creek)		\$2,800,000
Local Funds:	\$1,400,000	
Central Fund Loan:	\$ 700,000	
Central Fund Grant:	\$ 700,000	
Proposed Repayment Schedule:	\$ 8,750 x 80 quarters	

C. G. COOPER

Copy to: (w/encls)
CMC (Code MSMS)



COMMENTS ON CAMP LEJEUNE'S FY-83/87 NAF CLUB AND RECREATION PROGRAM

FY-83

1. P-775, Recreational Lodge/Motel, Onslow Beach Area

This project is currently in the FY-86 HQMC-approved construction program. However, this Command supports and strongly recommends incorporation of this project into the FY-83 Program as originally submitted. Rapid deterioration of existing beach facilities warrants the escalation of this project from FY-86 to FY-83. The project has been revised to provide three separate complexes of wood construction rather than a single structure of masonry.

2. P-815, Montford Point Area Enlisted Club

This project was previously submitted on 1 March 1982 and is currently in the HQMC FY-83 Program.

FY-84

1. P-794, Roofs for Existing Handball Courts, Basewide

This project is resubmitted with one change; Handball Court S-162 is substituted for S-BB59, as S-BB59 is inadequate and is to be replaced by project P-823 enclosed herein. Court S-162 is now listed as substandard. This project will upgrade this court to adequate standards.

FY-85

1. P-820, Renovate Enlisted Club, Bldg. 62

This project provides additional space to the existing club within the confines of existing BFRL requirements. This project will upgrade the condition of Building 62 to adequate.

FY-86

1. P-821, Renovate NCO Club, Bldg. 425

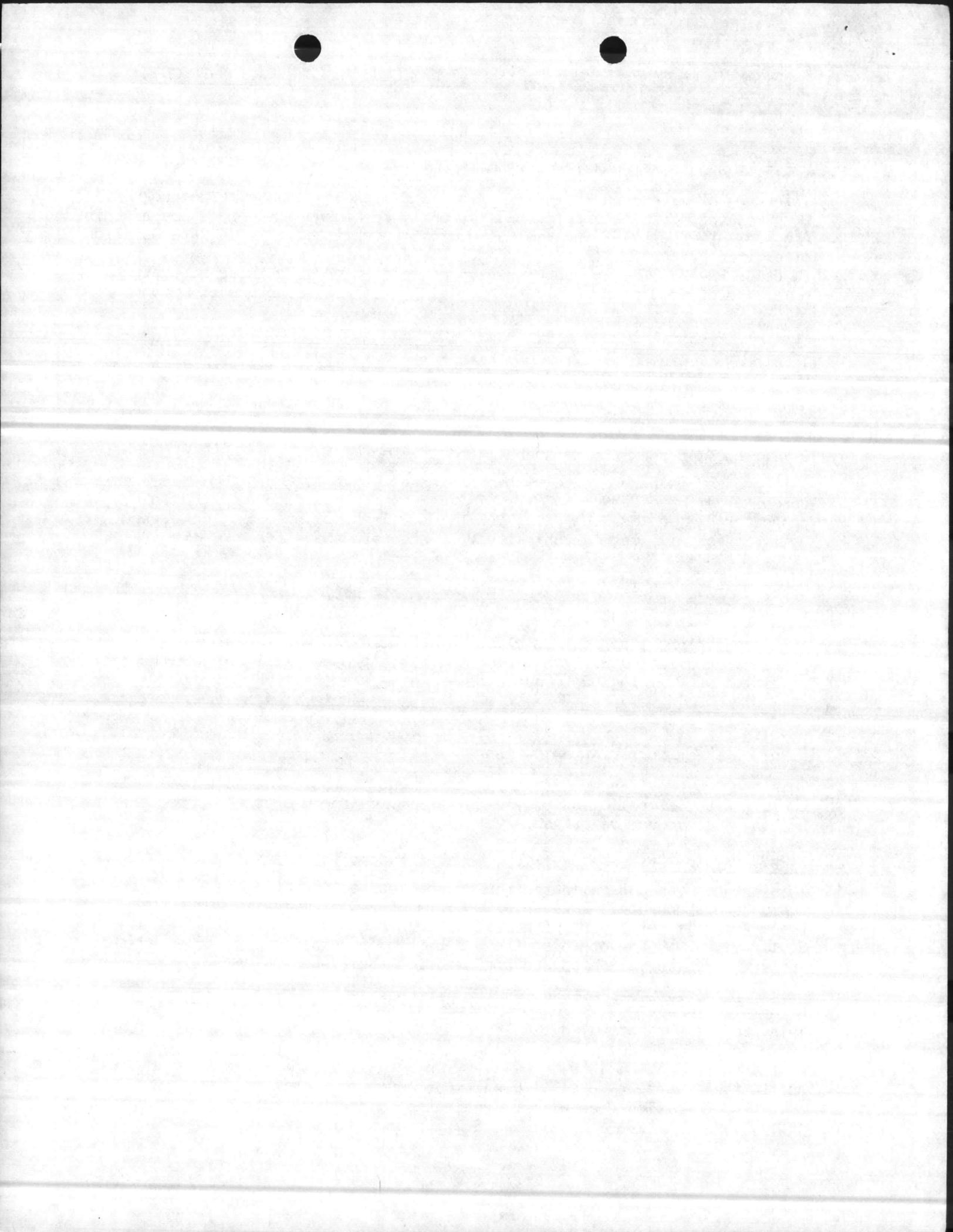
This project provides architectural treatment to the existing NCO Club in keeping with CMC policy of providing facilities for use by NCO personnel in healthy and productive off-duty activities.

2. P-298, Physical Fitness Facility, Central Hadnot Point Area

This project was not validated for reasons stated in reference (b) of the basic correspondence. However, MCON Project P-065 (Gymnasium, French Creek Area) is not a part of nor is it in support of the Physical Fitness Facility (P-298, Hadnot Point Area) submitted herein. It is requested that Project P-298 be validated and approved for the FY-86 Program.

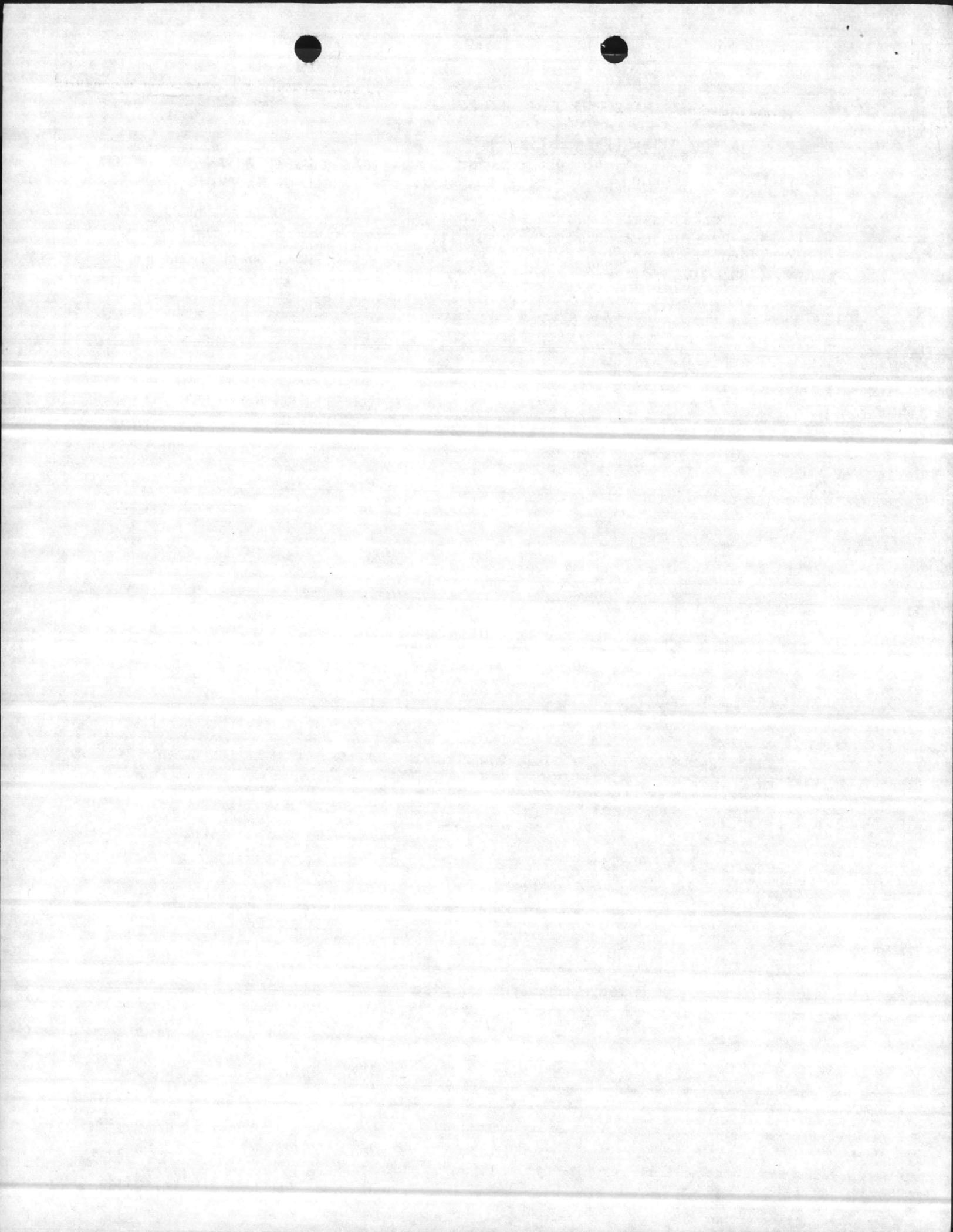
3. P-773, Hobby Shop Complex, Central Hadnot Point Area

This project was not validated for reasons stated in reference (b) of the basic correspondence. The existing facilities are shown as adequate on the current NAVMC 10801. However, in actuality, the facilities are inadequate due to their current physical condition, functional criteria, and size. This change of Condition Code will be reflected in the next submission of the NAVMC 10801.



FY-87

1. P-259, Bowling Alley (French Creek)
This is a new recreational project for approximately 8,913 2d Force Service Support Group personnel assigned to the French Creek Area.
2. P-823, Handball/Racquetball Courts, MP & CHB
This is a new project submission and will replace inadequate facilities at Montford Point and Courthouse Bay. The upcoming submission of the NAVMC 10801 will reflect these changes.



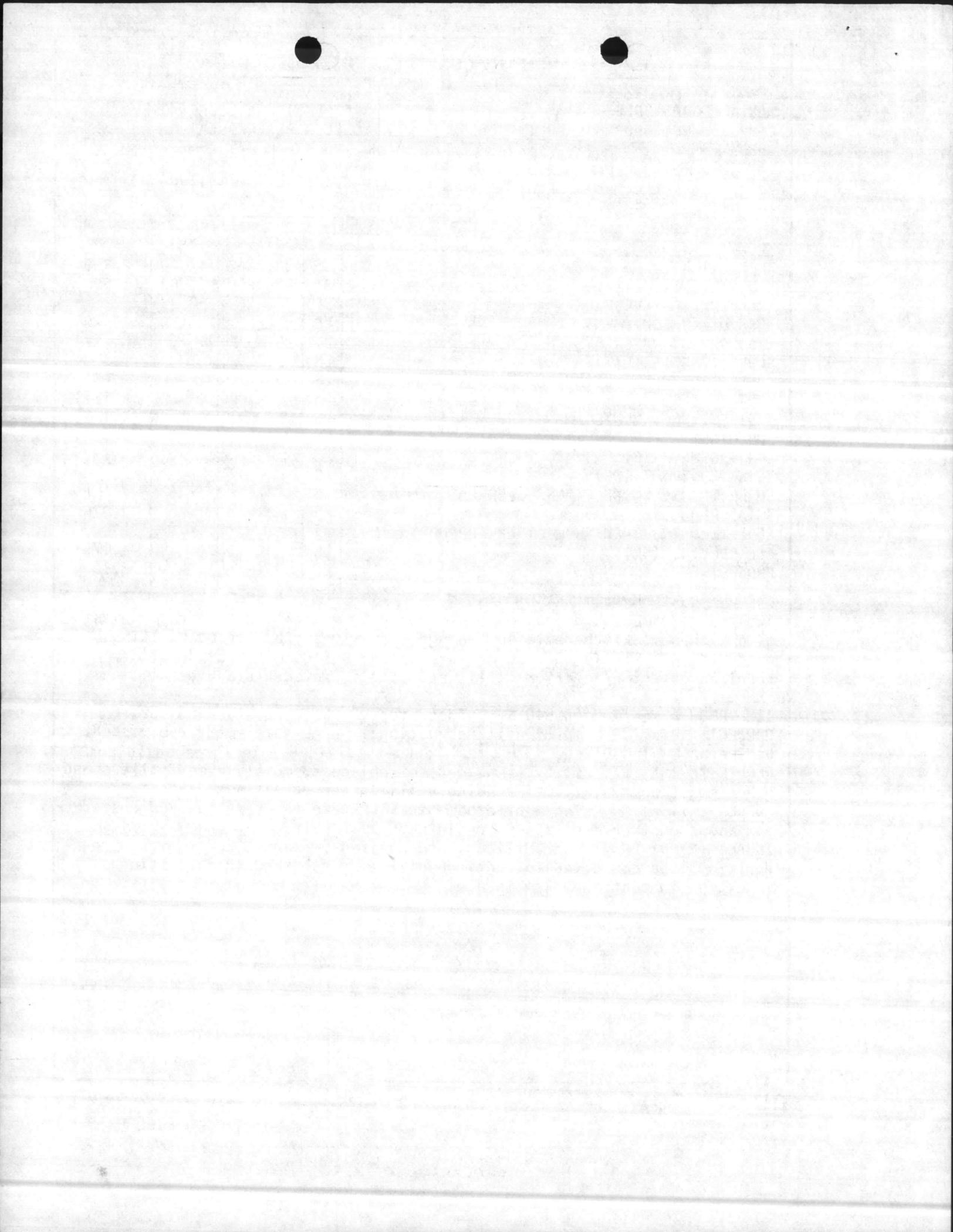
1. COMPONENT NAVY		1983 MILITARY CONSTRUCTION PROJECT DATA			2. DATE 5 MAY 1982	
3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542				4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, ONSLow BEACH AREA		
5. PROGRAM ELEMENT		6. CATEGORY CODE 740-81	7. PROJECT NUMBER P-775		8. PROJECT COST (\$000) \$3,100	
9. COST ESTIMATES						
ITEM		U/M	QUANTITY	UNIT COST	COST (\$000)	
RECREATIONAL LODGE/MOTEL		SF	34,056	67.80	2,309	
MOTEL UNITS		SF	32,460	51.02	(1,656)	
ADMINISTRATIVE BLDG		SF	1,596	50.75	(81)	
BUILT-IN EQUIPMENT		LS	-	-	(520)	
SOLAR HOT WATER SYSTEM		LS	-	-	(52)	
SUPPORTING FACILITIES		LS	-	-	333	
SPECIAL CONSTRUCTION FEATURES		LS	-	-	(91)	
UTILITIES		LS	-	-	(121)	
SITE IMPROVEMENTS		LS	-	-	(121)	
SUBTOTAL		LS	-	-	2,642	
CONTINGENCY - 5%		LS	-	-	132	
TOTAL CONTRACT COST		LS	-	-	2,774	
SUPERVISION, INSPECTION & OVERHEAD - 5.5%		LS	-	-	152	
TOTAL REQUEST		LS	-	-	2,926	
EQUIPMENT PROVIDED FROM OTHER APPROPRIATIONS		-	-	-	-	
A&E SERVICE (6%)		LS	-	-	175	
PROJECT COST (ROUNDED)		LS	-	-	3,100	
10. DESCRIPTION OF PROPOSED CONSTRUCTION						
Two-story frame buildings, wood siding, pile foundations, bedroom units with bathroom, kitchenette and lounge area. One-story frame building, wood siding, pile foundation Administrative Building. Provide all required exterior/interior utilities, site improvements and demolition.						
11. REQUIREMENTS: 66,640 SF, Adequate: 0 SF, Substandard: 32,584 SF						
PROJECT: Provide a multi-unit recreational lodge/motel with administrative office on Onslow Beach. (Total of 80 units divided into three buildings.)						
REQUIREMENTS: A facility is needed to replace 23 mobile home trailers and other substandard facilities being utilized as recreational lodges.						
CURRENT SITUATION: The mobile home trailers are deteriorated and rusted out and the other facilities are in need of repair.						
IMPACT IF NOT PROVIDED: Military and retired personnel and their dependents will be compelled to continue utilizing substandard facilities resulting in continued low morale.						

VM

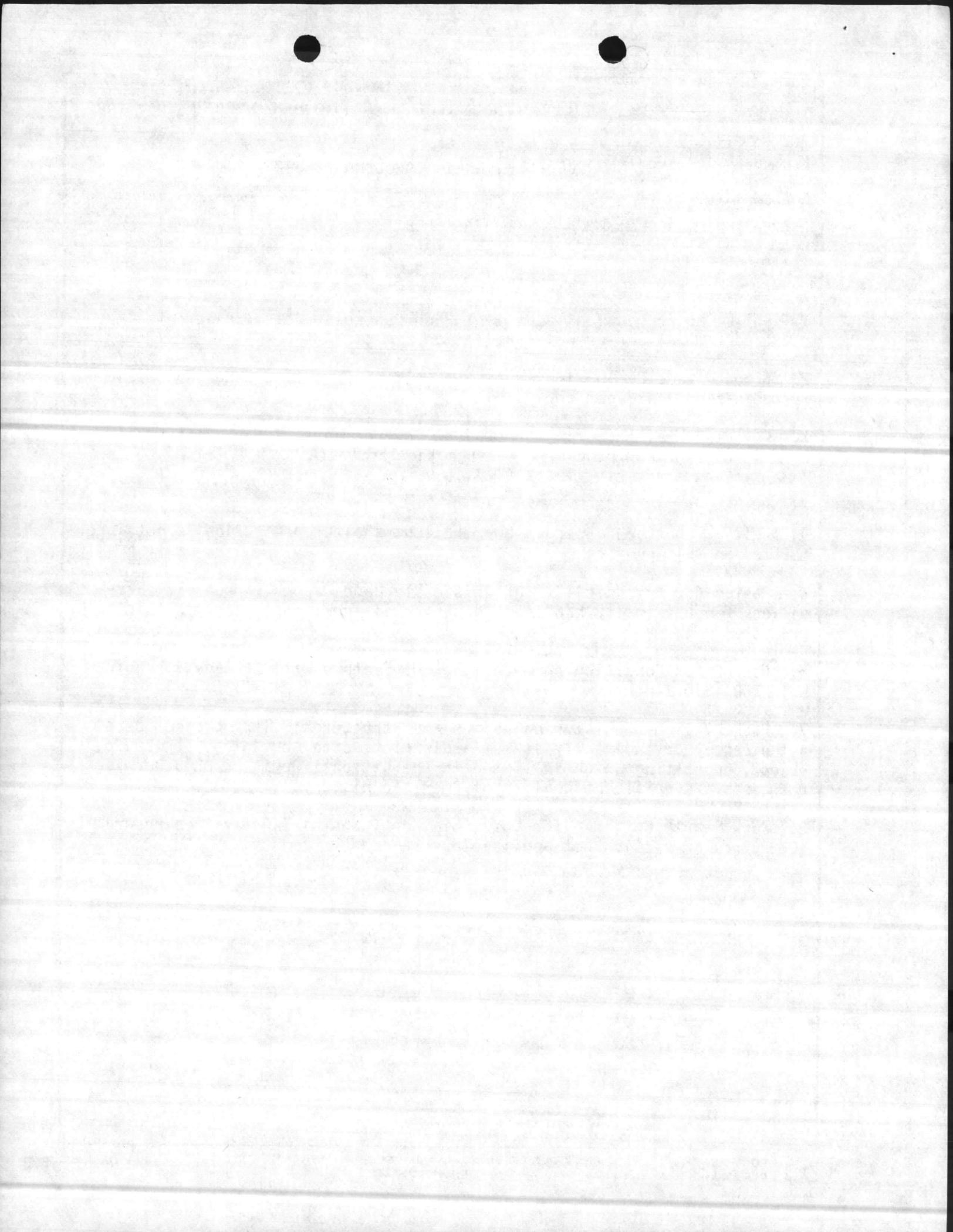
DD FORM 1391
DEC 76PREVIOUS EDITIONS MAY BE USED INTERNALLY
UNTIL EXHAUSTED

PAGE NO. 1 of 2

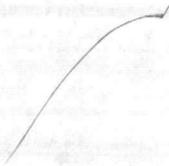
ENCL (3)



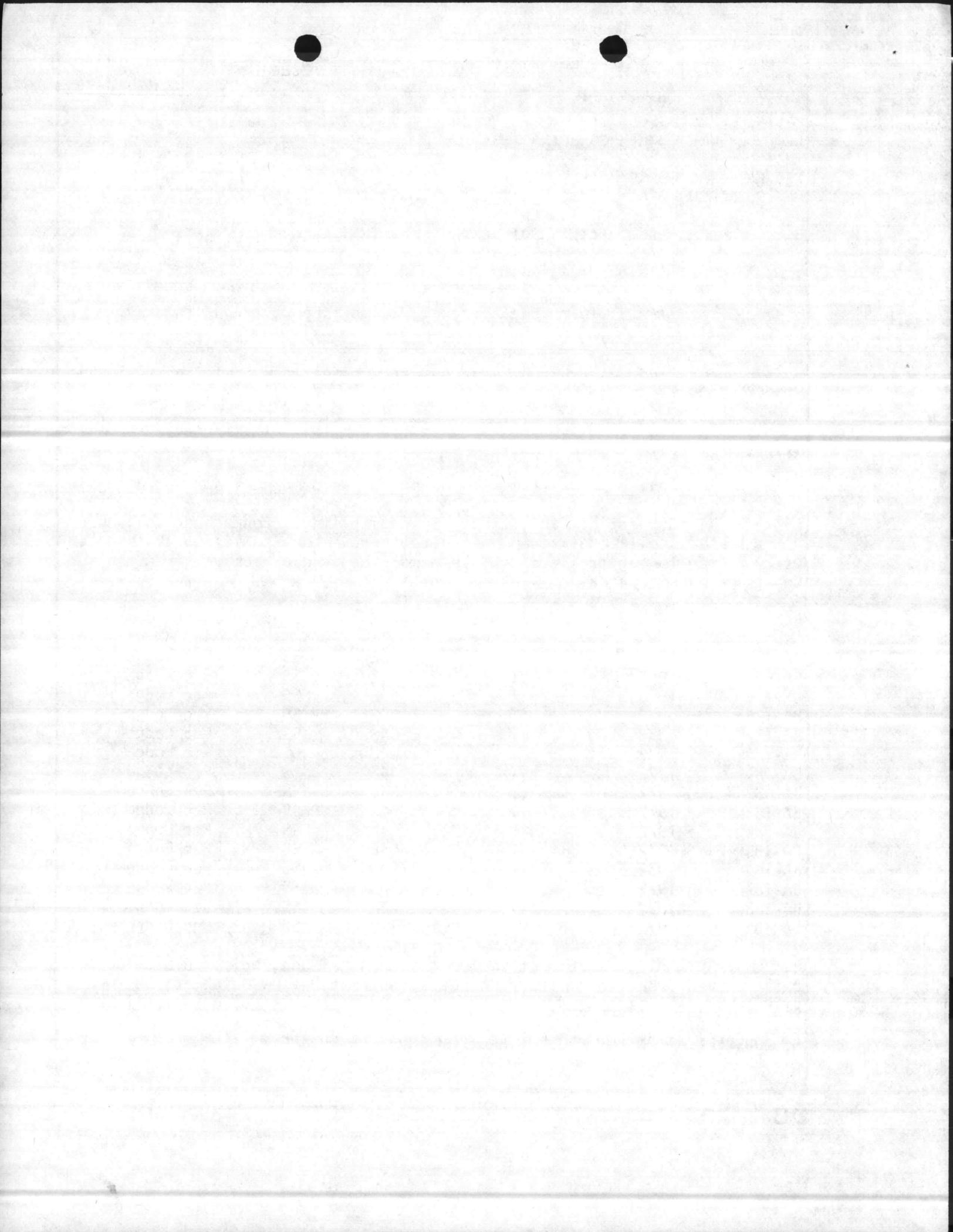
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3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, ONSLOW BEACH AREA		5. PROJECT NUMBER P-775
<p style="text-align: center;"><u>SPECIAL CONSIDERATIONS</u></p> <ol style="list-style-type: none"> 1. <u>Pollution Prevention, Abatement, and Control</u>: This project will not cause additional air or water pollution. 2. <u>Flood Hazard Evaluation</u>: Requirements of Executive Order No. 11296 (Flood Hazards) are not applicable. 3. <u>Environmental Impact</u>: The project Environmental Impact Assessment will be written and processed through the local EIA Review Board. No significant adverse impact is anticipated. 4. <u>Fallout Shelter Construction</u>: Fallout shelter protection is not incorporated in this project. 5. <u>Design for Accessibility of Physically Handicapped Personnel</u>: Provisions for physically handicapped personnel are incorporated in this project. 6. <u>Use of Air Conditioning</u>: Ceiling "U" factors will be made to conform WITH DOD 4270.1-M. 7. <u>Preservation of Historical Sites and Structures</u>: This project does not directly or indirectly affect a district, site, building, structure, object, or setting which is listed in the National Register or otherwise possesses a significant quality of American history. 8. <u>"New Start" Criteria for Commercial or Industrial Activities Program (OMB Circular A-76)</u>: Not applicable. 		



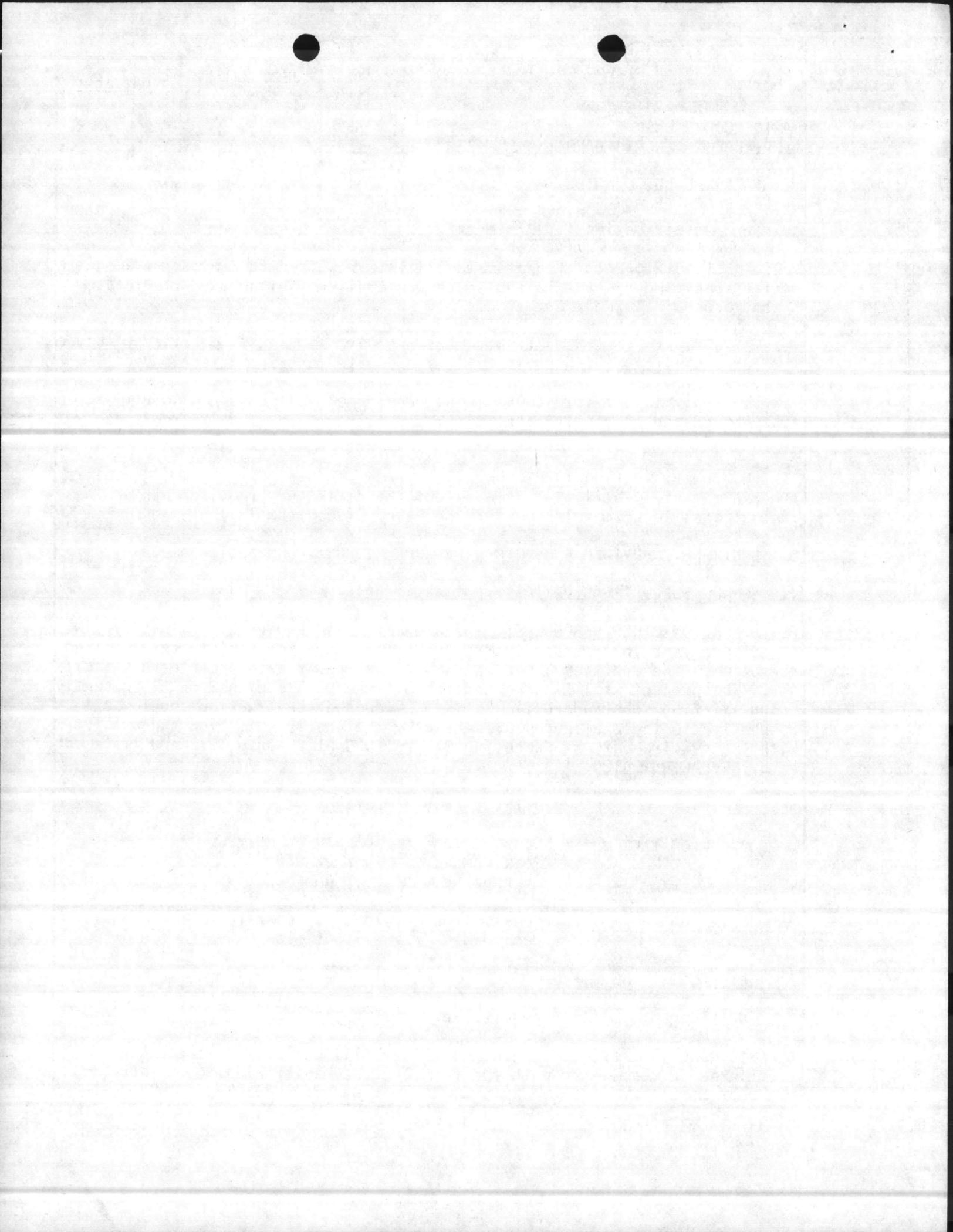
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3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL ON SLOW BEACH AREA		5. PROJECT NUMBER P-775
<p><u>FACILITY STUDY</u></p> <p>1. <u>PROJECT</u>: Provide a 34,056 SF, multi-unit recreational lodge/motel/admin complex complete with vending space, interior/exterior utilities, special construction features, and site improvements.</p> <p>2. <u>CURRENT AND PLANNED FUTURE WORKLOAD WITH REGARDS TO THIS PROJECT</u>: The facility will be utilized 24 hours daily, seven days a week and the duration of need is indefinite. The proposed units will accommodate military, retired personnel and dependents.</p> <p>3. <u>DESCRIPTION OF PROPOSED CONSTRUCTION</u>:</p> <p style="padding-left: 40px;">a. <u>Type of Construction</u>:</p> <p style="padding-left: 80px;">(1) Permanent two-story wood frame building, wood siding, carpet, pile foundation, built-up roof, insulation, interior utilities and appliances.</p> <p style="padding-left: 80px;">(2) Lighting, exterior utilities, site improvements, etc.</p> <p style="padding-left: 40px;">b. <u>Replacements</u>: This project will replace Trailers #5 (BA-189), #6 (BA-188), #7 (BA-187), #8 (BA-186), #9 (BA-185), #10 (BA-184), #11 (BA-183), #12 (BA-182), #13 (BA-181), #14 (BA-180), #15 (BA-179), #17 (BA-172), #19 (BA-174), #20 (BA-175), and #21 (BA-176). The trailers were put on site in 1972 and 1973 and are in poor condition, deteriorated and rusted out.</p> <p style="padding-left: 40px;">c. <u>Description of Work to be Done</u>:</p> <p style="padding-left: 80px;">(1) <u>Primary Facility</u>: Two-story wood frame building on pile foundation.</p> <p style="padding-left: 120px;">(a) <u>Support Facilities</u>: Lighting, utilities and site improvement.</p> <p style="padding-left: 80px;">(2) <u>Energy Conservation</u>: Energy efficient equipment and building orientation for maximum energy conservation will be used.</p> <p style="padding-left: 80px;">(3) <u>Collateral Equipment</u>:</p> <p style="padding-left: 120px;">(a) <u>Built-in: Project Funded</u>:</p>		



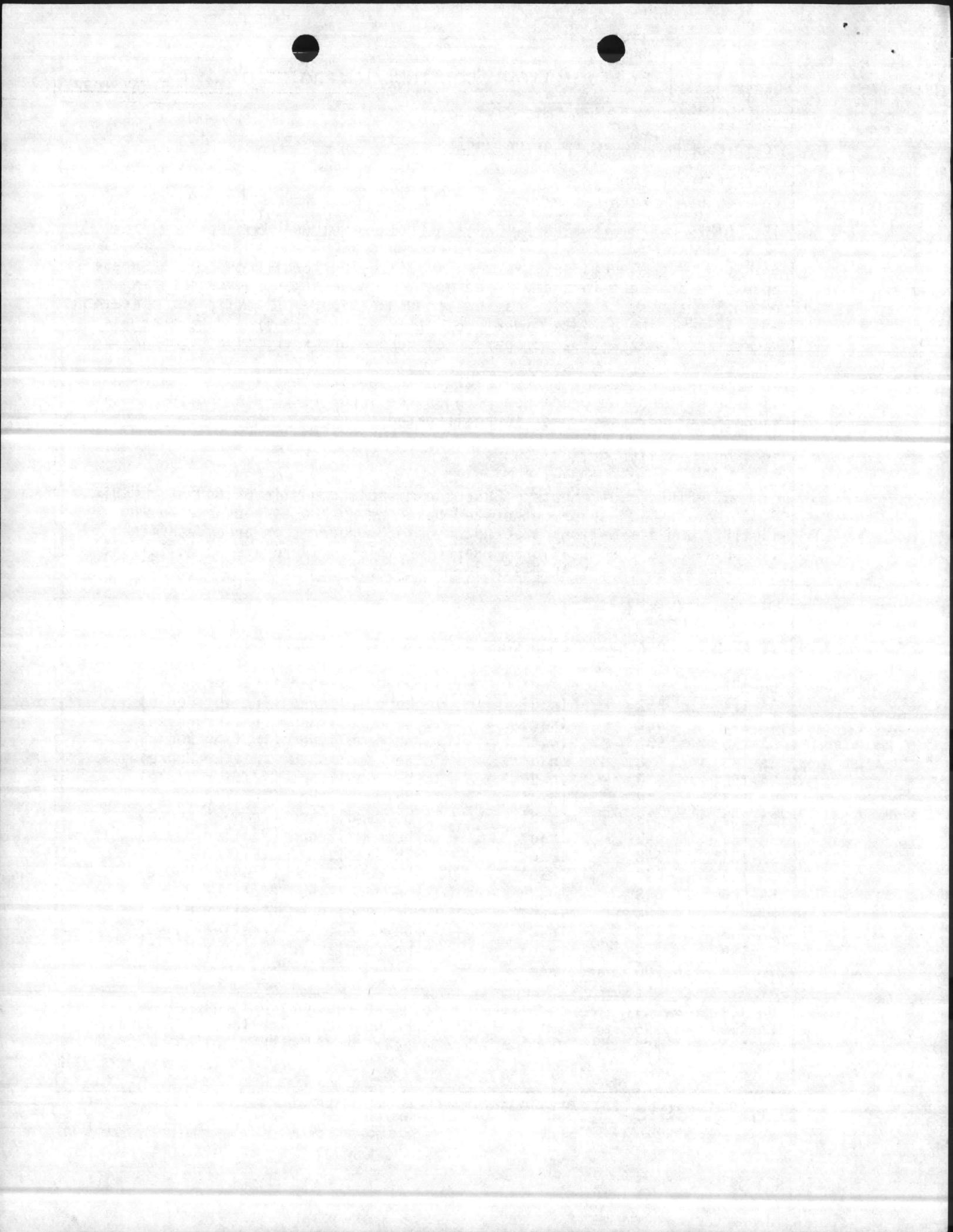
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<p>Air conditioning, heating and ventilating systems. Plumbing. Telephone, fire alarm, sprinkler, TV and intercom systems. Drinking water coolers, metal frames with windows and window screens. Kitchenette, counter top with stove, sink and refrigerator (built-in).</p> <p>(b) <u>Expense Item:</u> To be purchased using NAF appropriations.</p> <p>(4) <u>Supporting Facilities:</u> Special piling, foundation, solar hot water system, collateral equipment, site improvement, pollution abatement, etc. The following trailers will be demolished and/or removed from the construction site area.</p> <table border="1"> <thead> <tr> <th>BLDG NO.</th> <th>CONSTR.</th> <th>TYPE CONSTR.</th> <th>SF</th> <th>COND.</th> <th>USE.</th> </tr> </thead> <tbody> <tr><td>BA-172</td><td>1973</td><td>T</td><td>552</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-174</td><td>1973</td><td>T</td><td>552</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-175</td><td>1973</td><td>T</td><td>552</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-176</td><td>1973</td><td>T</td><td>552</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-179</td><td>1972</td><td>T</td><td>648</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-180</td><td>1972</td><td>T</td><td>648</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-181</td><td>1972</td><td>T</td><td>648</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-182</td><td>1972</td><td>T</td><td>648</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-183</td><td>1972</td><td>T</td><td>648</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-184</td><td>1972</td><td>T</td><td>648</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-185</td><td>1972</td><td>T</td><td>648</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-186</td><td>1972</td><td>T</td><td>648</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-187</td><td>1972</td><td>T</td><td>720</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-188</td><td>1972</td><td>T</td><td>720</td><td>SS</td><td>Rec Lodge</td></tr> <tr><td>BA-189</td><td>1972</td><td>T</td><td>720</td><td>SS</td><td>Rec Lodge</td></tr> </tbody> </table> <p>4. <u>COST ESTIMATE:</u> Area cost factor for Camp Lejeune, NC, is 0.95. Cost data derived from the Military Construction Cost Review Guide, FY-82 (DOD 4270.1-CG), and escalated to FY-83 to provide for this proposed facility.</p> <p>5. <u>JUSTIFICATION FOR PROJECT AND FOR SCOPE OF PROJECT:</u></p>			BLDG NO.	CONSTR.	TYPE CONSTR.	SF	COND.	USE.	BA-172	1973	T	552	SS	Rec Lodge	BA-174	1973	T	552	SS	Rec Lodge	BA-175	1973	T	552	SS	Rec Lodge	BA-176	1973	T	552	SS	Rec Lodge	BA-179	1972	T	648	SS	Rec Lodge	BA-180	1972	T	648	SS	Rec Lodge	BA-181	1972	T	648	SS	Rec Lodge	BA-182	1972	T	648	SS	Rec Lodge	BA-183	1972	T	648	SS	Rec Lodge	BA-184	1972	T	648	SS	Rec Lodge	BA-185	1972	T	648	SS	Rec Lodge	BA-186	1972	T	648	SS	Rec Lodge	BA-187	1972	T	720	SS	Rec Lodge	BA-188	1972	T	720	SS	Rec Lodge	BA-189	1972	T	720	SS	Rec Lodge
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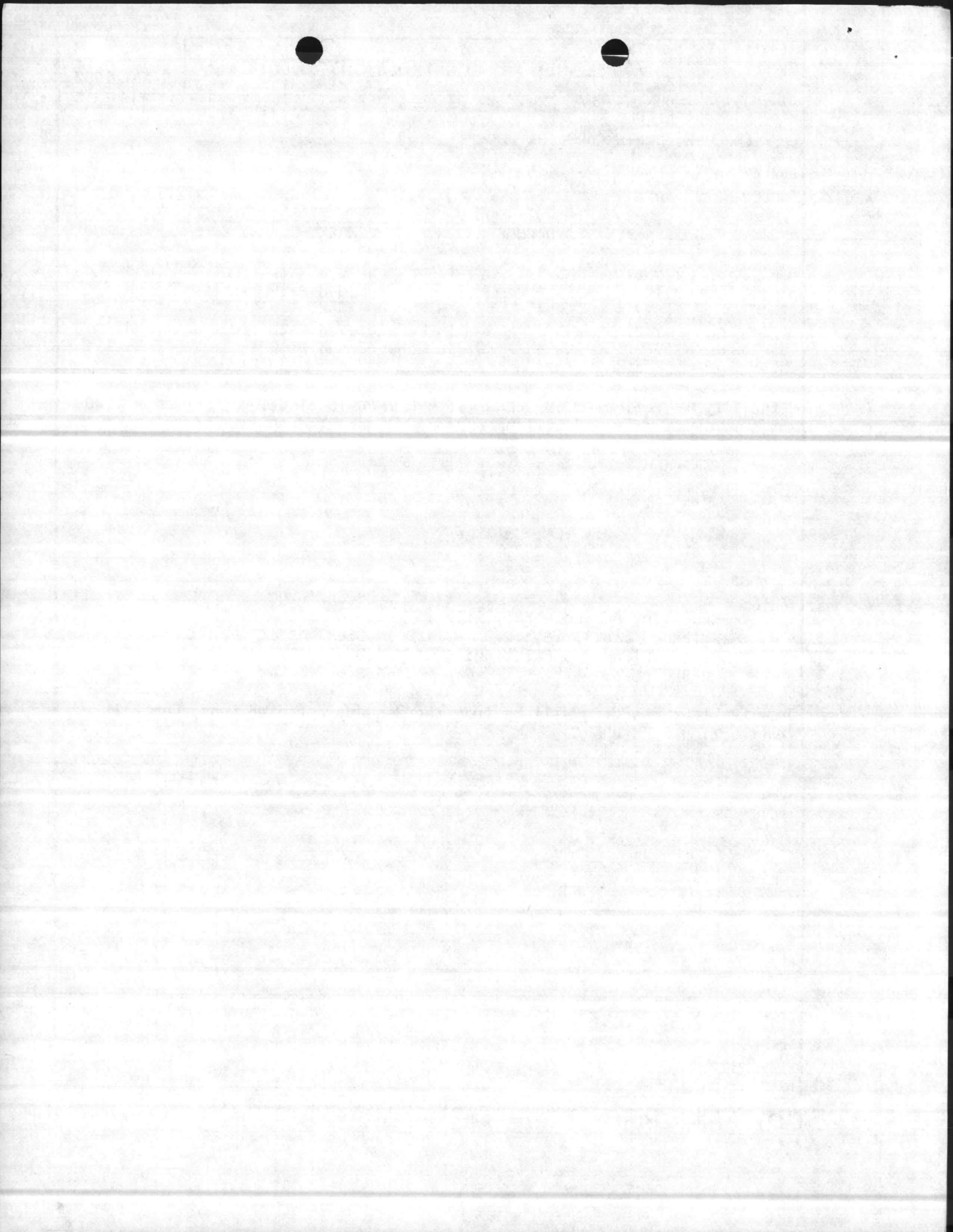
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<p>a. <u>Justification for Project:</u></p> <p>(1) <u>Project:</u> Proposed facility is required to provide an adequate recreational lodge/motel to replace house trailers which have deteriorated beyond economical repair.</p> <p>(2) <u>Current Situation:</u> Personnel are staying in substandard house trailer facilities which are totally inadequate for recreational needs.</p> <p>(3) <u>Impact if Not Provided:</u> Personnel will continue to utilize substandard and makeshift facilities, resulting in low morale from spending vacation time in the deteriorated recreational facilities (trailers).</p> <p>b. <u>Justification for Scope of Project:</u> The project scope (34,056) is the minimum size facility that can meet the deficiency requirement for the recreational lodge/motel needs of the Base. (See item 13.)</p> <p>6. <u>EQUIPMENT PROVIDED FROM OTHER APPROPRIATIONS:</u> Not applicable.</p> <p>7. <u>COMMON SUPPORT FACILITIES:</u> Not applicable.</p> <p>8. <u>EFFECT ON OTHER RESOURCES:</u> The project will require approximately \$8,497 per year in increased O&MMC funds for increased utility services and operations. No additional personnel will be required to operate this facility. The project will enhance and improve the morale of personnel presently using existing substandard facilities. Proposed construction should be responsive to the challenges presented by the energy situation and comply with the requirements of Executive Order 12003 of 20 July 1977 and implemented by NAVFACINST 4100.5A.</p> <table border="0" data-bbox="324 1344 1299 1743"> <tr> <td colspan="4" style="text-align: center;"><u>UTILITY REQUIREMENTS</u></td> </tr> <tr> <td>a. Electricity</td> <td>Consumption</td> <td>83,819</td> <td>KWHR/yr</td> </tr> <tr> <td></td> <td>Peak Demand</td> <td>52</td> <td>KW</td> </tr> <tr> <td></td> <td>Average Demand</td> <td>48</td> <td>KW</td> </tr> <tr> <td>b. Steam</td> <td>Consumption</td> <td>3,759,752</td> <td>Lbs/Yr</td> </tr> <tr> <td></td> <td>Demand</td> <td>1,346</td> <td>Lbs/Hr</td> </tr> <tr> <td>c. Coal</td> <td></td> <td>146.8</td> <td>Tons/Yr</td> </tr> <tr> <td>d. Adequate utility requirements are available.</td> <td></td> <td></td> <td></td> </tr> </table> <p>9. <u>SITING OF THE PROJECT:</u> This facility will be located in the Onslow Beach area in compliance with the Camp Lejeune Master Plan. (See Encl (1))</p>			<u>UTILITY REQUIREMENTS</u>				a. Electricity	Consumption	83,819	KWHR/yr		Peak Demand	52	KW		Average Demand	48	KW	b. Steam	Consumption	3,759,752	Lbs/Yr		Demand	1,346	Lbs/Hr	c. Coal		146.8	Tons/Yr	d. Adequate utility requirements are available.			
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<p>10. <u>OTHER GRAPHIC PRESENTATIONS, INCLUDING PHOTOGRAPHS:</u> None.</p> <p>11. <u>ECONOMIC ANALYSIS:</u> This facility is being constructed on an undeveloped site adjacent to a developed area. Economic savings will be in nominal energy consumption savings to be realized from efficient operations. This is a nonappropriated fund project in support of providing adequate recreational facilities for personnel morale and recreation.</p> <p>12. <u>ENVIRONMENTAL IMPACT ASSESSMENT:</u> An environmental impact assessment will be written and processed through the local EIA Review Board. No significant adverse impact is anticipated.</p> <p>13. <u>QUANTITATIVE DATA:</u></p> <p>a. <u>BFRL Requirements:</u> Basewide miscellaneous is 66,640 SF. NAVFAC P-80 provides for space authorized based on number of personnel using facility and limitation on occupancy of the recreation area determined by its physical and recreational characteristics. There are no definitive drawings given in NAVFAC P-272 for Category Code 740-81.</p> <p>b. <u>Existing Facilities:</u></p> <table border="1"> <thead> <tr> <th data-bbox="289 1077 422 1108"><u>BLDG NO.</u></th> <th data-bbox="467 1077 592 1108"><u>AREA SF</u></th> <th data-bbox="646 1077 803 1108"><u>COND CODE</u></th> <th data-bbox="1040 1077 1161 1108"><u>REMARKS</u></th> </tr> </thead> <tbody> <tr><td>BA-172</td><td>552</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-174</td><td>552</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-175</td><td>552</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-176</td><td>552</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-179</td><td>648</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-180</td><td>648</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-181</td><td>648</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-182</td><td>648</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-183</td><td>648</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-184</td><td>648</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-185</td><td>648</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-186</td><td>648</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-187</td><td>720</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-188</td><td>720</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td>BA-189</td><td>720</td><td>Inad*</td><td>To be demolished (Trailer House)</td></tr> <tr><td></td><td>10,200</td><td>Inadequate*</td><td></td></tr> <tr><td>BA-114</td><td>19,324</td><td>SS*</td><td>To be upgraded with local NAF funds</td></tr> <tr><td>BA-119</td><td>1,596</td><td>SS*</td><td>To be upgraded with local NAF funds</td></tr> <tr><td>BA-120</td><td>1,232</td><td>SS*</td><td>To be upgraded with local NAF funds</td></tr> </tbody> </table>			<u>BLDG NO.</u>	<u>AREA SF</u>	<u>COND CODE</u>	<u>REMARKS</u>	BA-172	552	Inad*	To be demolished (Trailer House)	BA-174	552	Inad*	To be demolished (Trailer House)	BA-175	552	Inad*	To be demolished (Trailer House)	BA-176	552	Inad*	To be demolished (Trailer House)	BA-179	648	Inad*	To be demolished (Trailer House)	BA-180	648	Inad*	To be demolished (Trailer House)	BA-181	648	Inad*	To be demolished (Trailer House)	BA-182	648	Inad*	To be demolished (Trailer House)	BA-183	648	Inad*	To be demolished (Trailer House)	BA-184	648	Inad*	To be demolished (Trailer House)	BA-185	648	Inad*	To be demolished (Trailer House)	BA-186	648	Inad*	To be demolished (Trailer House)	BA-187	720	Inad*	To be demolished (Trailer House)	BA-188	720	Inad*	To be demolished (Trailer House)	BA-189	720	Inad*	To be demolished (Trailer House)		10,200	Inadequate*		BA-114	19,324	SS*	To be upgraded with local NAF funds	BA-119	1,596	SS*	To be upgraded with local NAF funds	BA-120	1,232	SS*	To be upgraded with local NAF funds
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BA-189	720	Inad*	To be demolished (Trailer House)																																																																															
	10,200	Inadequate*																																																																																
BA-114	19,324	SS*	To be upgraded with local NAF funds																																																																															
BA-119	1,596	SS*	To be upgraded with local NAF funds																																																																															
BA-120	1,232	SS*	To be upgraded with local NAF funds																																																																															



1. COMPONENT NAVY	FY 1983 MILITARY CONSTRUCTION PROJECT DATA	2. DATE 5 MAY 1982																													
3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542																															
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL ON SLOW BEACH AREA		5. PROJECT NUMBER P-775																													
<table border="1"> <thead> <tr> <th data-bbox="263 373 389 409">BLDG NO.</th> <th data-bbox="454 373 609 409">AREA (SF)</th> <th data-bbox="625 373 779 409">COND CODE</th> <th data-bbox="974 373 1096 409">REMARKS</th> </tr> </thead> <tbody> <tr> <td data-bbox="263 441 365 472">BA-143</td> <td data-bbox="454 441 544 472">1,536</td> <td data-bbox="641 441 714 472">SS *</td> <td data-bbox="836 441 1429 472">To be upgraded with local NAF funds</td> </tr> <tr> <td data-bbox="263 472 365 504">BA-144</td> <td data-bbox="454 472 544 504">3,152</td> <td data-bbox="641 472 714 504">SS *</td> <td data-bbox="836 472 1429 504">To be upgraded with local NAF funds</td> </tr> <tr> <td data-bbox="263 504 365 535">BA-146</td> <td data-bbox="454 504 544 535">1,232</td> <td data-bbox="641 504 714 535">SS *</td> <td data-bbox="836 504 1429 535">To be upgraded with local NAF funds</td> </tr> <tr> <td data-bbox="263 535 365 567">BA-147</td> <td data-bbox="454 535 544 567">772</td> <td data-bbox="641 535 714 567">SS *</td> <td data-bbox="836 535 1429 567">To be upgraded with local NAF funds</td> </tr> <tr> <td data-bbox="263 567 381 598">SBA-142</td> <td data-bbox="454 567 544 598">3,740</td> <td data-bbox="641 567 714 598">SS *</td> <td data-bbox="836 567 1429 598">To be upgraded with local NAF funds</td> </tr> <tr> <td colspan="4" data-bbox="438 598 779 640">32,584 Substandard *</td> </tr> </tbody> </table>				BLDG NO.	AREA (SF)	COND CODE	REMARKS	BA-143	1,536	SS *	To be upgraded with local NAF funds	BA-144	3,152	SS *	To be upgraded with local NAF funds	BA-146	1,232	SS *	To be upgraded with local NAF funds	BA-147	772	SS *	To be upgraded with local NAF funds	SBA-142	3,740	SS *	To be upgraded with local NAF funds	32,584 Substandard *			
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<p>* Facility is reflected as adequate in NAVFAC 10651 dated 31 October 1980 which is a misnomer and will be corrected on next document update.</p>																															
c. <u>Planned Facilities:</u>																															
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<table border="1"> <tbody> <tr> <td data-bbox="397 1018 901 1060">Existing Adequate Facilities:</td> <td data-bbox="1023 1018 1047 1060">0</td> </tr> <tr> <td data-bbox="397 1060 730 1092">Planned Facilities:</td> <td data-bbox="941 1060 1047 1092">34,056</td> </tr> <tr> <td data-bbox="397 1092 836 1123">Total Planned & Existing:</td> <td data-bbox="941 1092 1047 1123">34,056</td> </tr> <tr> <td data-bbox="397 1123 592 1155">BFRL Total:</td> <td data-bbox="941 1123 1047 1155">66,640</td> </tr> </tbody> </table>				Existing Adequate Facilities:	0	Planned Facilities:	34,056	Total Planned & Existing:	34,056	BFRL Total:	66,640																				
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Total Planned & Existing:	34,056																														
BFRL Total:	66,640																														
14. <u>FUNDING:</u> Funding will be from the Non-Appropriated Fund, Central Construction Fund, HQMC.																															



COST ESTIMATE

DATE PREPARED
5 MAY 1982

SHEET 1 OF 1

ACTIVITY AND LOCATION
MARINE CORPS BASE
CAMP LEJEUNE, NORTH CAROLINA 28542

CONSTRUCTION CONTRACT NO.

IDENTIFICATION NUMBER
P-775

PROJECT TITLE
RECREATIONAL LODGE/MOTEL, ONSLOW BEACH AREA

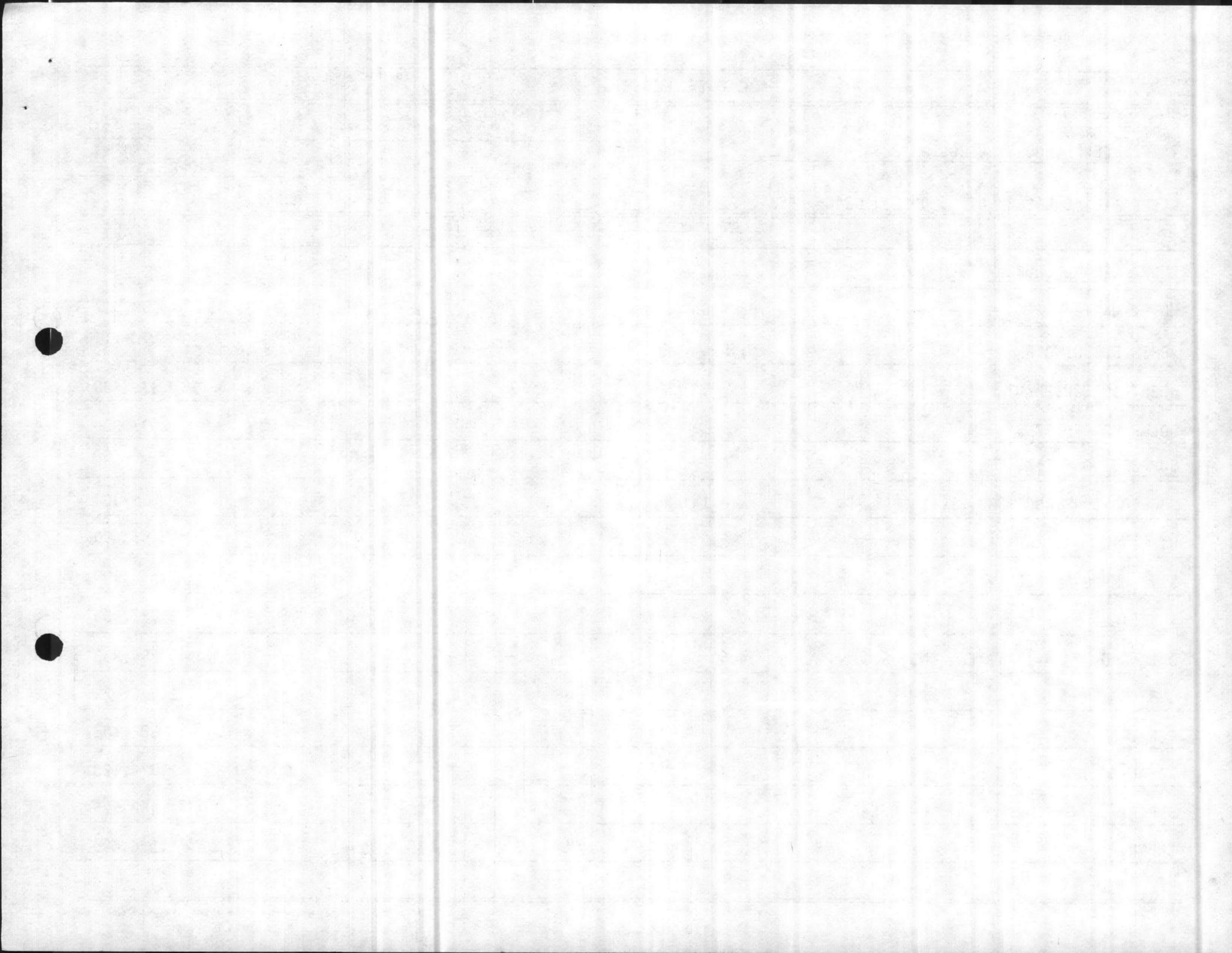
ESTIMATED BY
V. MARSHBURN

CATEGORY CODE NUMBER
740-81

STATUS OF DESIGN
 PED 30% 100% FINAL Other (Specify) Project

JOB ORDER NUMBER

ITEM DESCRIPTION	QUANTITY		MATERIAL COST		LABOR COST		ENGINEERING ESTIMATE	
	NUMBER	UNIT	UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL
<u>RECREATIONAL LODGE/MOTEL</u>								
MOTEL UNITS	32,460	SF					36.43	1,182,517
ADMIN BUILDING	1,596	SF					36.43	58,142
BUILT-IN EQUIPMENT	1	LS						371,400
SOLAR HOT WATER SYSTEM	1	LS						37,200
<u>SUPPORTING FACILITIES</u>								
SPECIAL CONSTRUCTION (PILINGS)	1	LS						65,000
UTILITIES								86,400
SITE IMPROVEMENTS								86,500
SUBTOTAL								1,887,159
OVERHEAD, PAYROLL TAXES, INS, S.S., PROFIT - 40%								754,863
SUBTOTAL								2,642,022
CONTINGENCY - 5%								132,101
TOTAL CONTRACT COST								2,774,123
SUPERVISION, INSPECTION & OVERHEAD - 5.5%								152,576
SUBTOTAL								2,926,699



FOR USE BY REQUESTER

FROM: MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542

CATEGORY CODE AND PROJECT TITLE: 740-81 - Recreational Lodge/Motel, Onslow Beach Area | TYPE OF FUNDING: NAF | COST (\$000): 3,100 | FISCAL YEAR: FY-83

PROJECT DESCRIPTION: Two-story frame buildings, woodsiding, pile foundations, bedroom units with bathroom, kitchenette and lounge area. One-story framed Administrative Building. | REMARKS: This is a NAF project in support of recreational requirements.

TYPE OF MAP: Site Location (Encl 1) | DATE: | REQUESTED BY: R. E. CARLSON, CDR, CEC, USN | DATE: 5 MAY 1982

ANALYSIS: (Place a check (✓) in box opposite each item. Y = Yes, N = No, NA = Not Applicable) | PUBLIC WORKS OFFICER | DATE RECEIVED

Table with 2 main columns: PROJECT SITING CONSIDERATION and PROJECT SITING CONSIDERATION. Rows include: a. COMPATIBLE WITH ACTIVITY PLANNED DEVELOPMENT GOALS, b. DEMONSTRATES SOUND PLANNING PRINCIPLES, c. MEETS MINIMUM PLANNING AND SITING CRITERIA. Right column lists criteria: (1) AMMUNITION AND EXPLOSIVES, (2) ELECTROMAGNETIC RADIATION, (3) AIRFIELD SAFETY, (4) NOISE INTENSITY, (5) FIRE PROTECTION.

COMPATIBLE WITH ACTIVITY MASTER PLAN (Check appropriate box): IDENTICAL, DIFFERENT BUT CONSISTENT, NOT SHOWN BUT CONSISTENT, NOT SHOWN AND INCONSISTENT, DIFFERENT AND INCONSISTENT

CRITERIA CERTIFICATION(S) REQUESTED (Check): DDESS, CNO, NAVSEA, NAVELEX, NAVAIR, OTHER

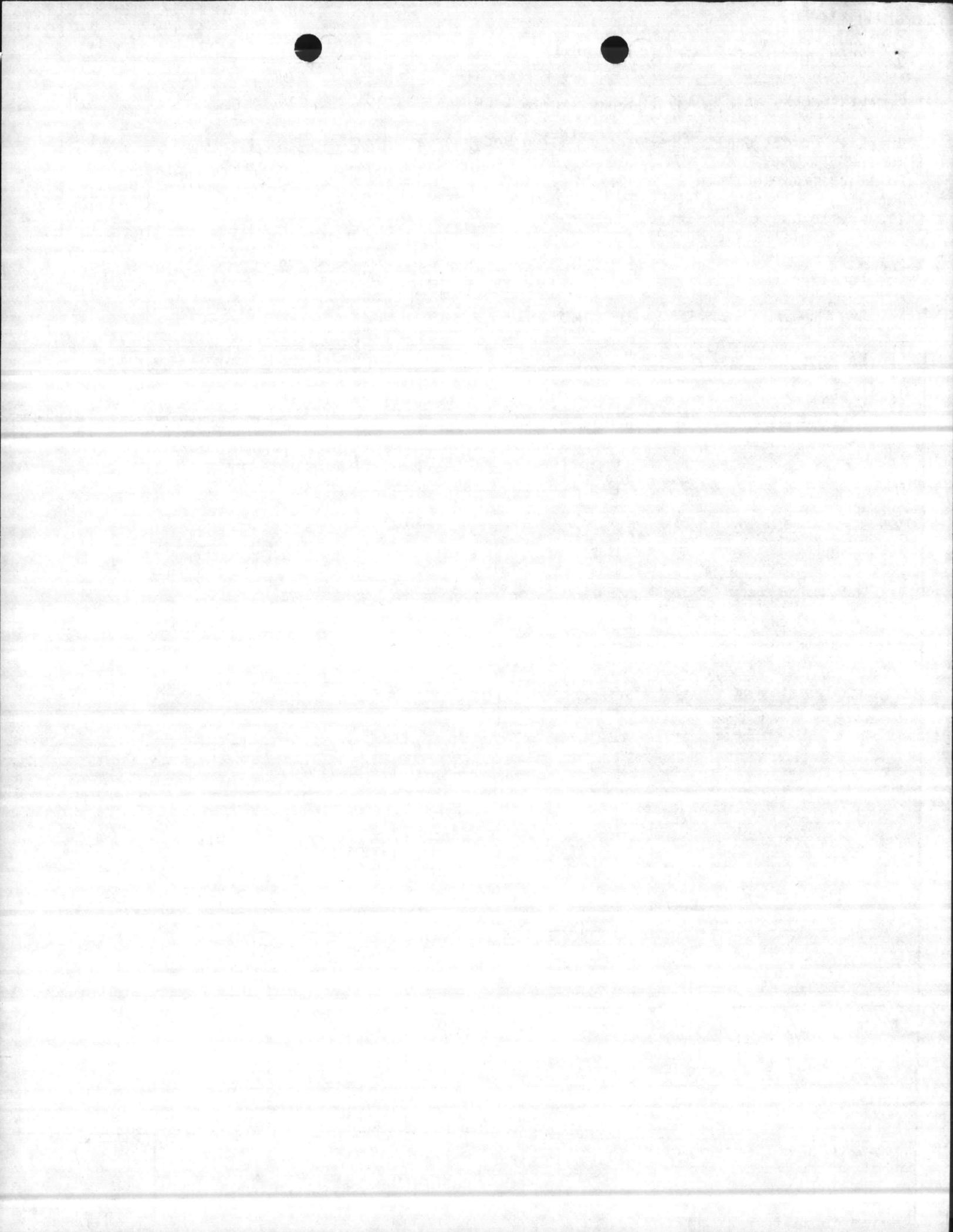
DATE CERTIFICATION(S) RECEIVED: DDESS, CNO, NAVSEA, NAVELEX, NAVAIR, OTHER

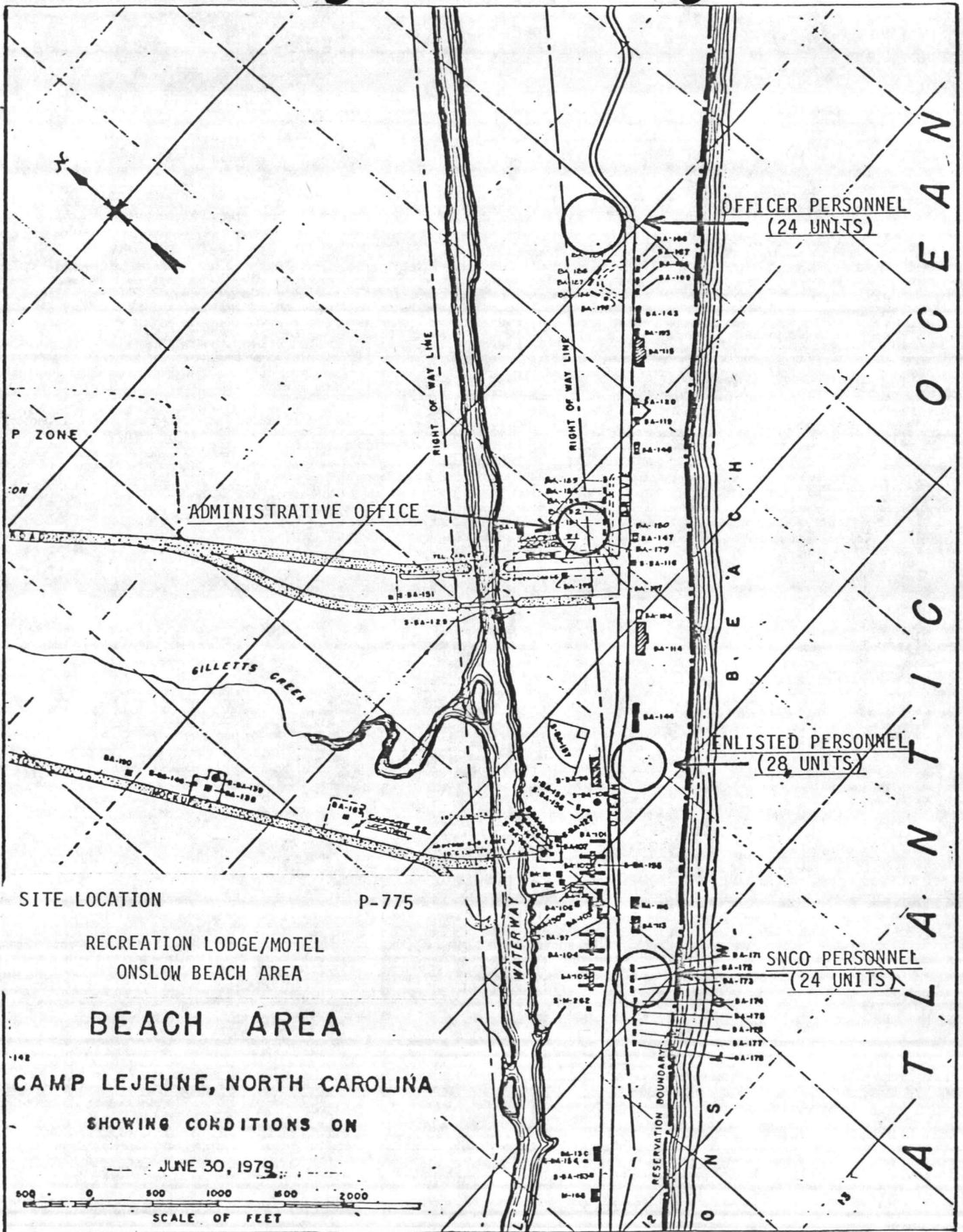
ACTION: APPROVED, DISAPPROVED, DEFERRED

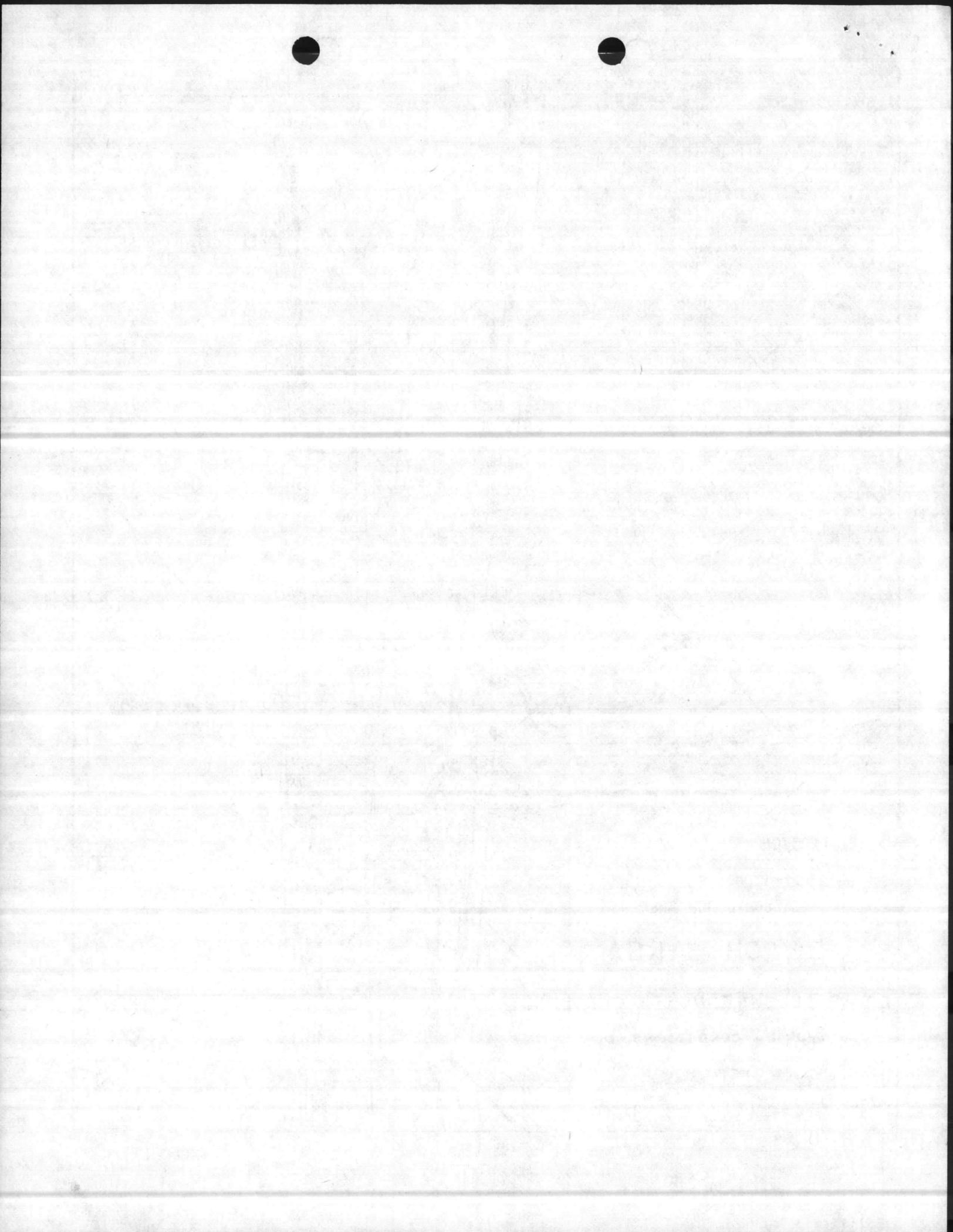
REMARKS: [Large empty area for handwritten notes]

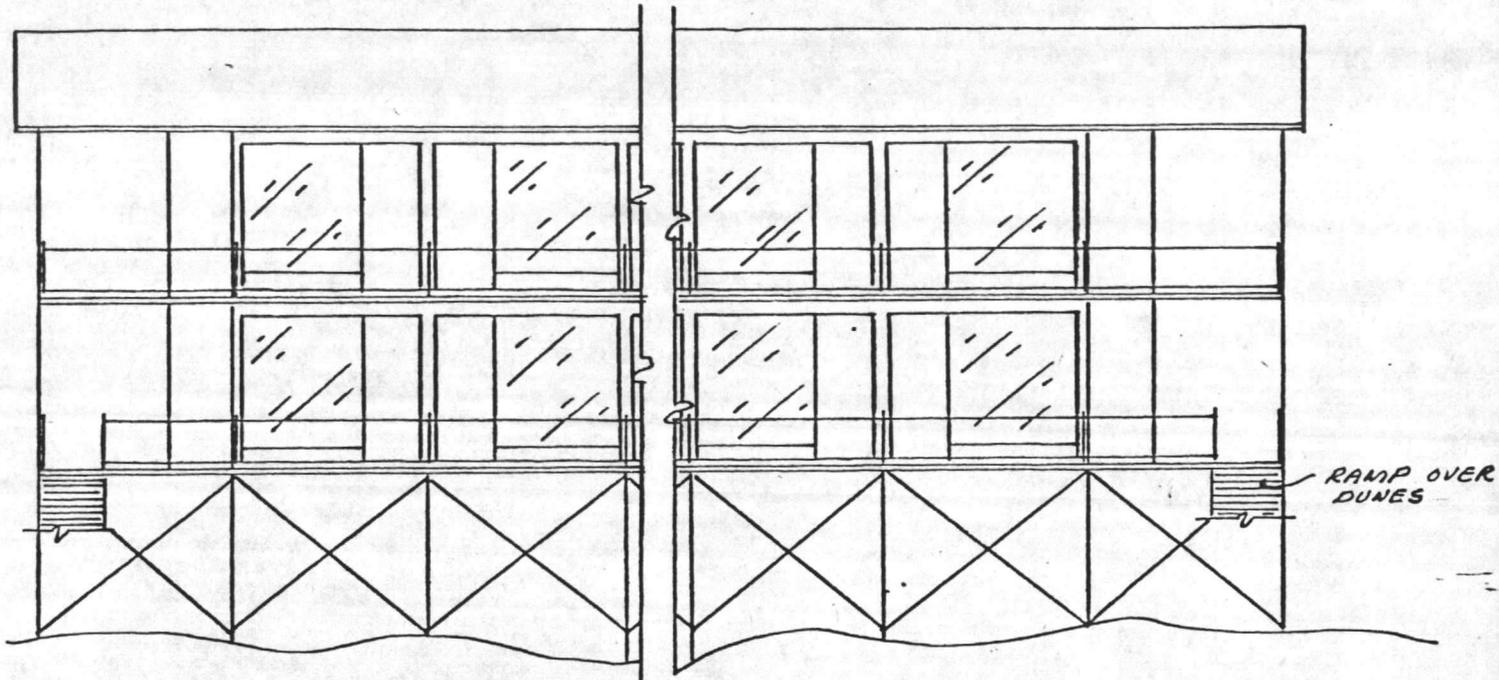
APPROVING OFFICIAL (Typed name and signature) | DATE

SECTION 0 HQMC REVIEW AND ANALYSIS

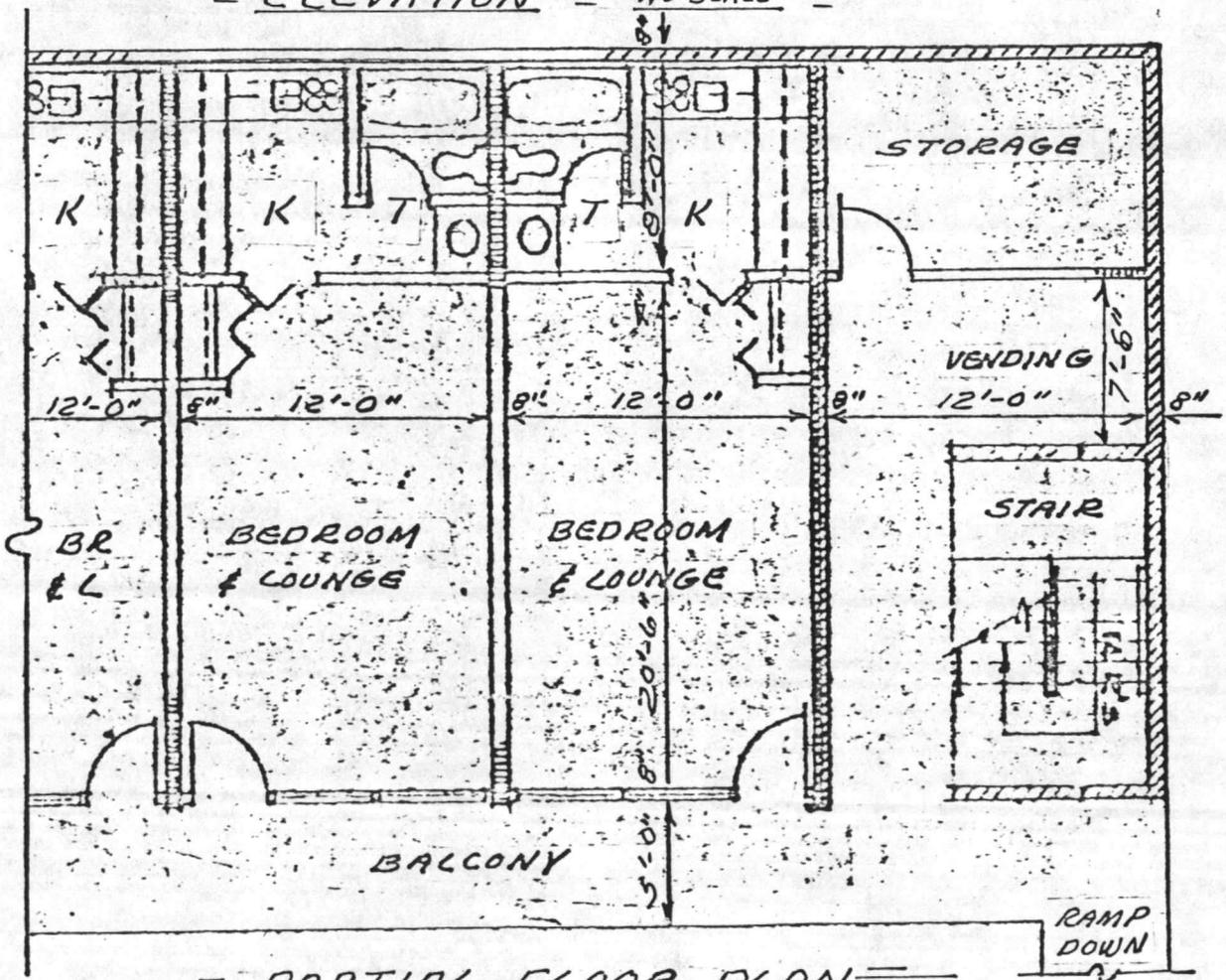






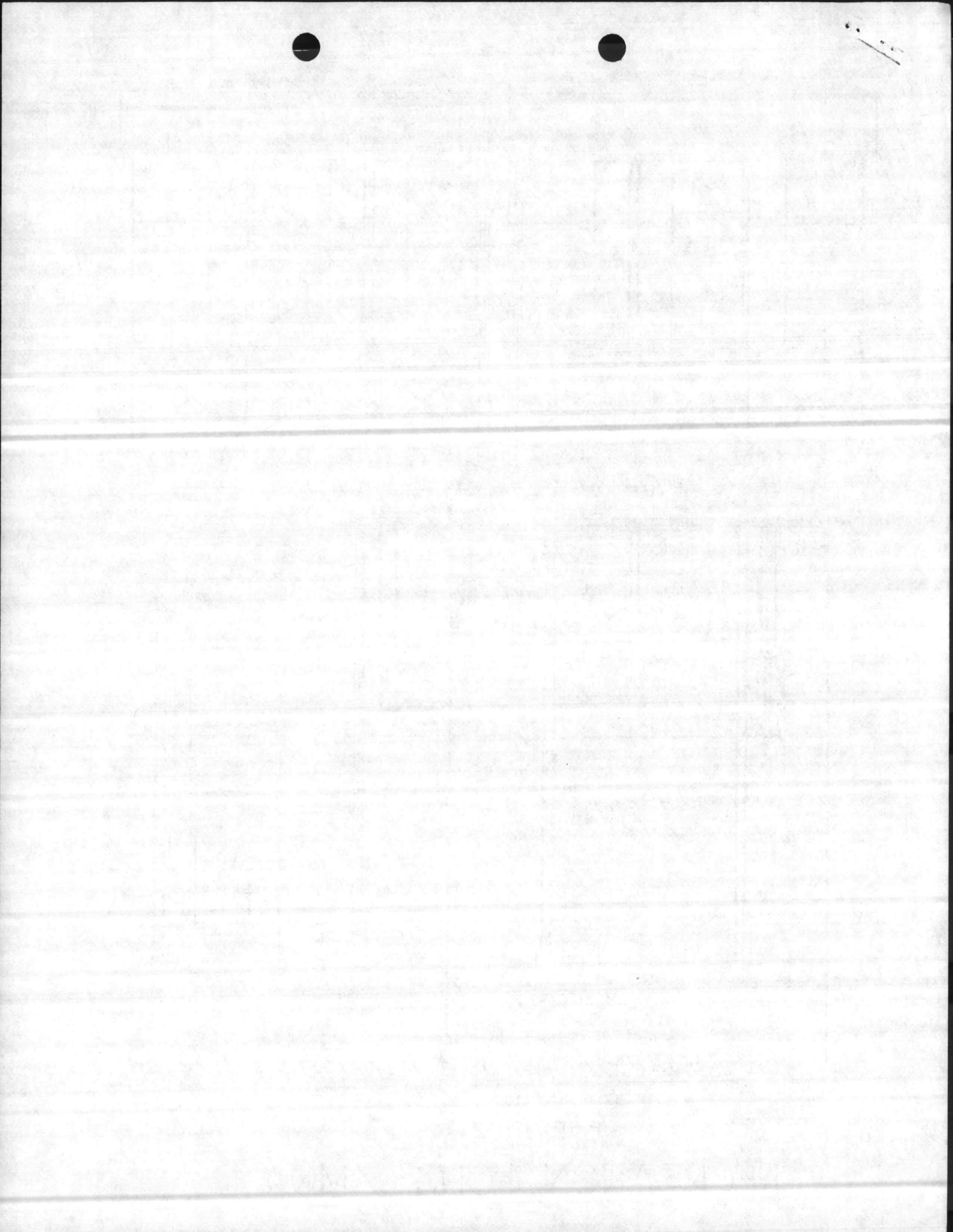


— ELEVATION — NO SCALE —



— PARTIAL FLOOR PLAN —
 — SCALE: 1/8" = 1'-0" —

P-775
 RECREATION LODGE / MOTEL



Proj folder

UNITED STATES MARINE CORPS
Marine Corps Base
Camp Lejeune, North Carolina 28542

ENVIRONMENTAL IMPACT/ENVIRONMENTAL ENHANCEMENT REVIEW BOARD: MEETING OF

15 September 1952 (Reviewed by the Chairman)

ADDENDUM TO PRELIMINARY ENVIRONMENTAL ASSESSMENT (PEA)

SUBJ: P-775, Recreational Lodge/Motel, Onslow Beach Area

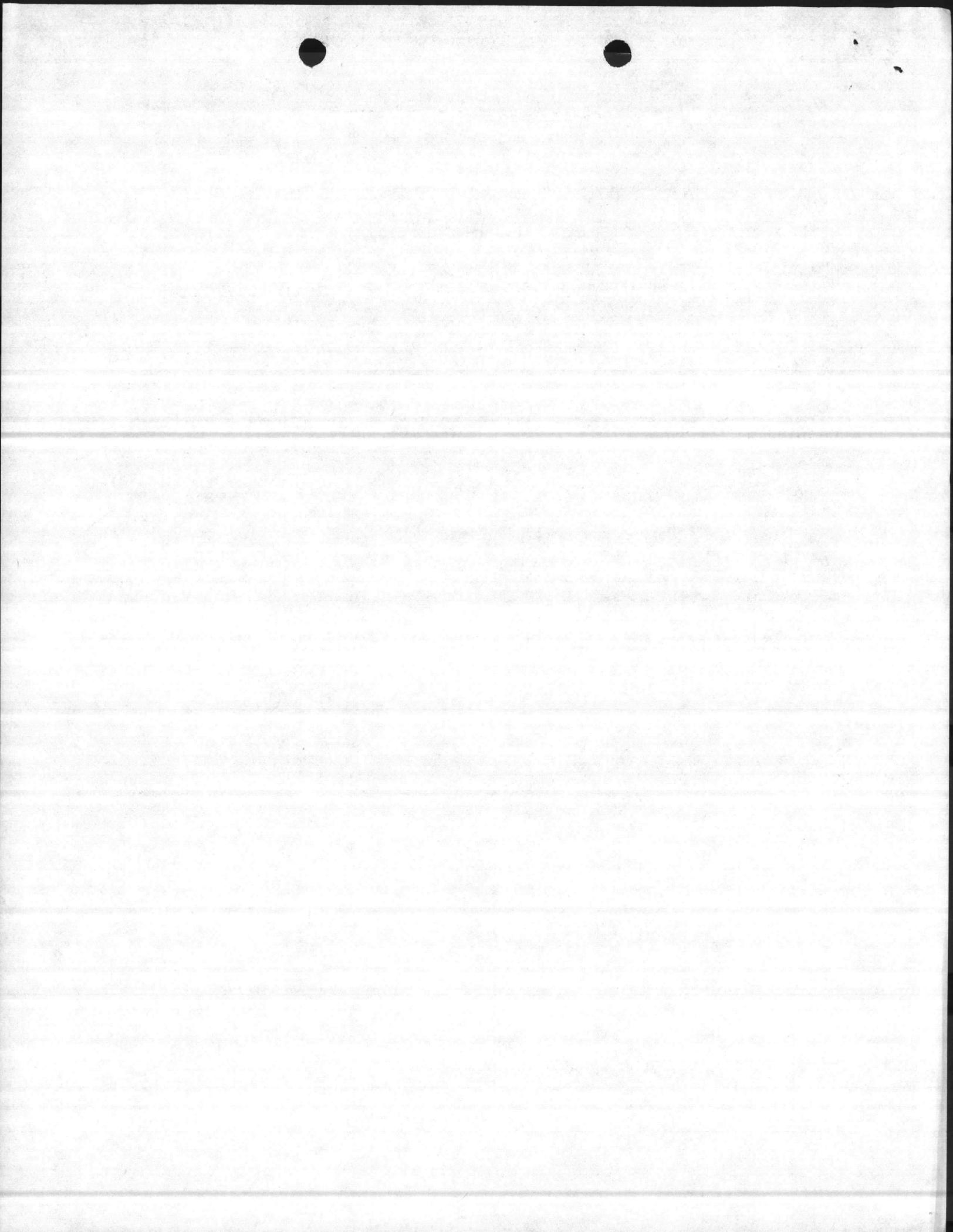
BOARD ACTION

_____ The Board agreed there appears to be no significant environmental impact or controversy associated with this project.

XX _____ The Board agreed there appears to be no significant environmental impact or controversy associated with this project provided:

- (1) The site for the Enlisted Lodge is relocated to avoid conflict with the dunes.
- (2) Facilities should be located so they are not in close proximity to the Reconnaissance Battalion.
- (3) Walkways will probably be required to avoid damage to dunes.

_____ The Board agreed there is potential environmental impact with the project and recommends the following:



BASE MAINTENANCE DIVISION
Marine Corps Base
Camp Lejeune, North Carolina 28542

MAIN/DDS/jik
16675

SEP 6 1982

From: Base Maintenance Officer
To: Assistant Chief of Staff, Facilities

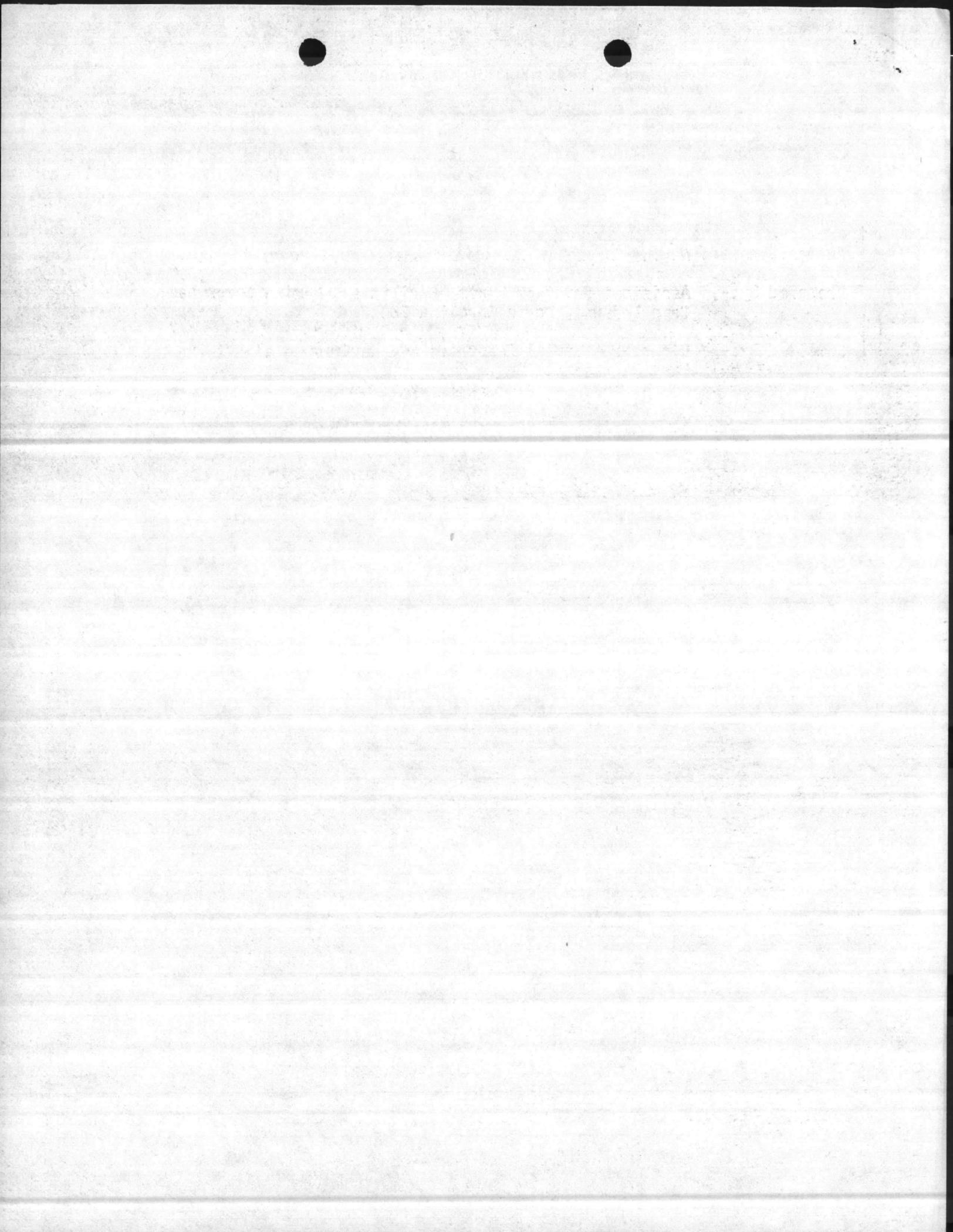
Subj: Preliminary Environmental Assessment for Recreational Lodge/Motel
Onslow Beach Area, (P-775)

Ref: (a) AC/S Fac memo FAC/JFG/ed 6280 of 18 Jun 1982

Encl: (1) PEA for Recreational Lodge/Motel Onslow Beach Area, (P-775)

1. In accordance with the reference, the enclosure has been compiled and is submitted for your review/action.

R. F. CALTA



PRELIMINARY ENVIRONMENTAL ASSESSMENT

for

RECREATIONAL LODGE/MOTEL ONSLOW BEACH AREA

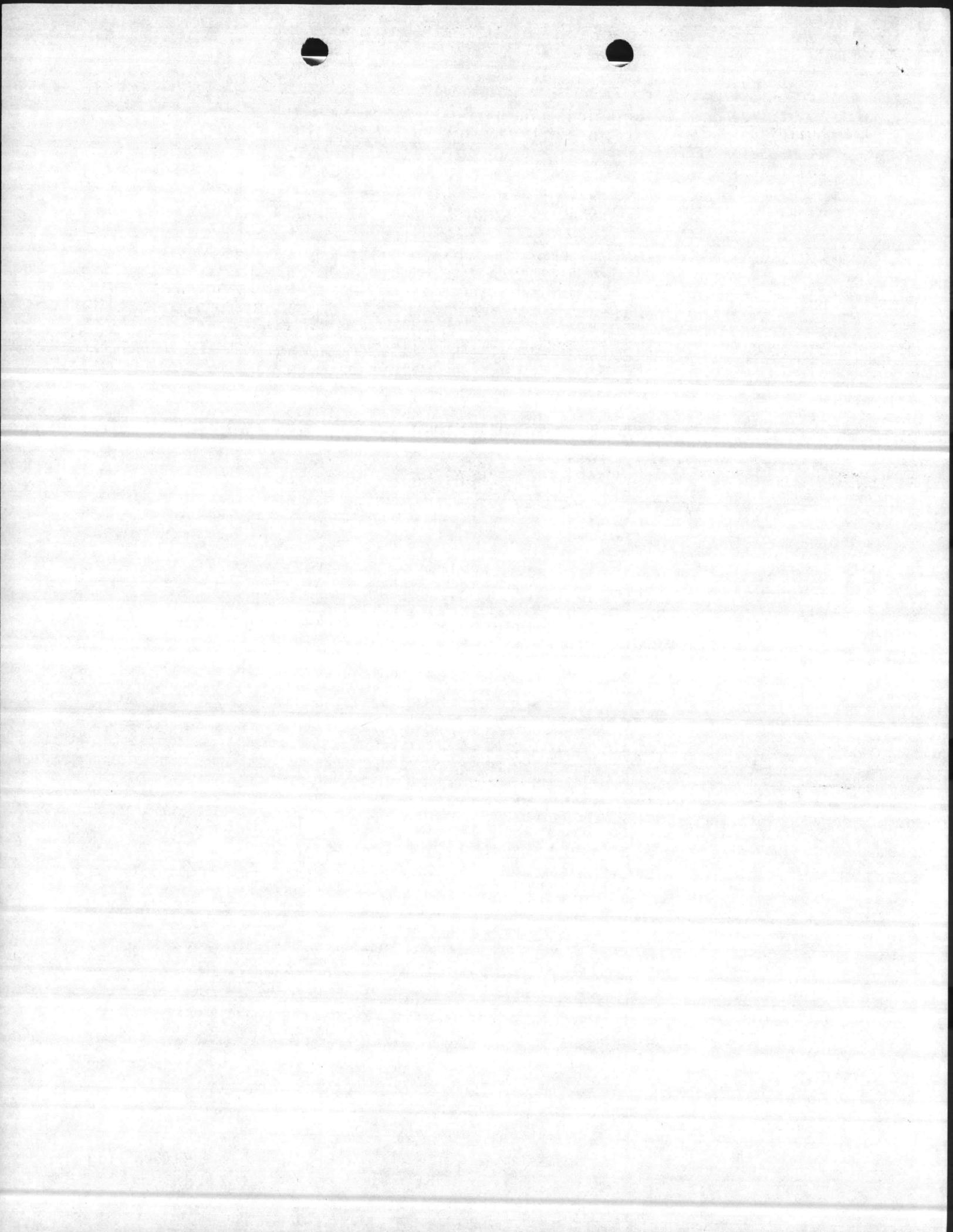
Action Sponsor: Marine Corps Base, Camp Lejeune (Non Appropriated Funds)

Prepared By: Assistant Chief of Staff, Facilities, Marine Corps Base,
Camp Lejeune, North Carolina 28542

Compiled By: Director, Natural Resources and Environmental Affairs Branch,
Base Maintenance Division, Marine Corps Base, Camp Lejeune,
North Carolina 28542

This document was prepared in accordance with MCO P11000.8A, MCO 6280.5
and BO 11000.1A in compliance with Section 102(2)(c) of the National
Environmental Policy Act of 1969.

ENCLOSURE (1)



1. Action/Project Description.

a. Project Description. The project will provide three two-story frame buildings, woodsiding, pile foundations, bedroom units with bathroom, kitchenette and lounge area. Also, a one-story frame Administrative Building will be provided. The facility will replace 23 mobile home units and other substandard facilities which have been utilized as recreational lodges. Attachment (1) provides detail and site locations.

b. Project Purpose. Proposed facility will provide adequate recreational lodge/motel facilities to replace mobile home trailers. Note: Several of the trailers have already been removed due to condition. The administrative building will support all three lodges. If not provided, personnel morale will continue to suffer due to lack of adequate recreational facilities. Access to private/public beaches in the area is poor. This is a problem specifically identified in local land use plans generated under the Coastal Zone Management Act.

c. Site Description. The proposed facilities will be constructed at four sites all of which are located within the currently developed area of Onslow Beach.

(1) Site A. A lodge (24 units) for Officer personnel will be constructed here. This site is immediately northeast of BA186, 187, 188, and 189. The site is an existing clearing with herbaceous vegetation. The ground elevation is below the 100 year flood level. However, no wetlands are involved. There are no sand dunes in the immediate area. Few shrubs or trees would require clearing if care was taken in locating the structure.

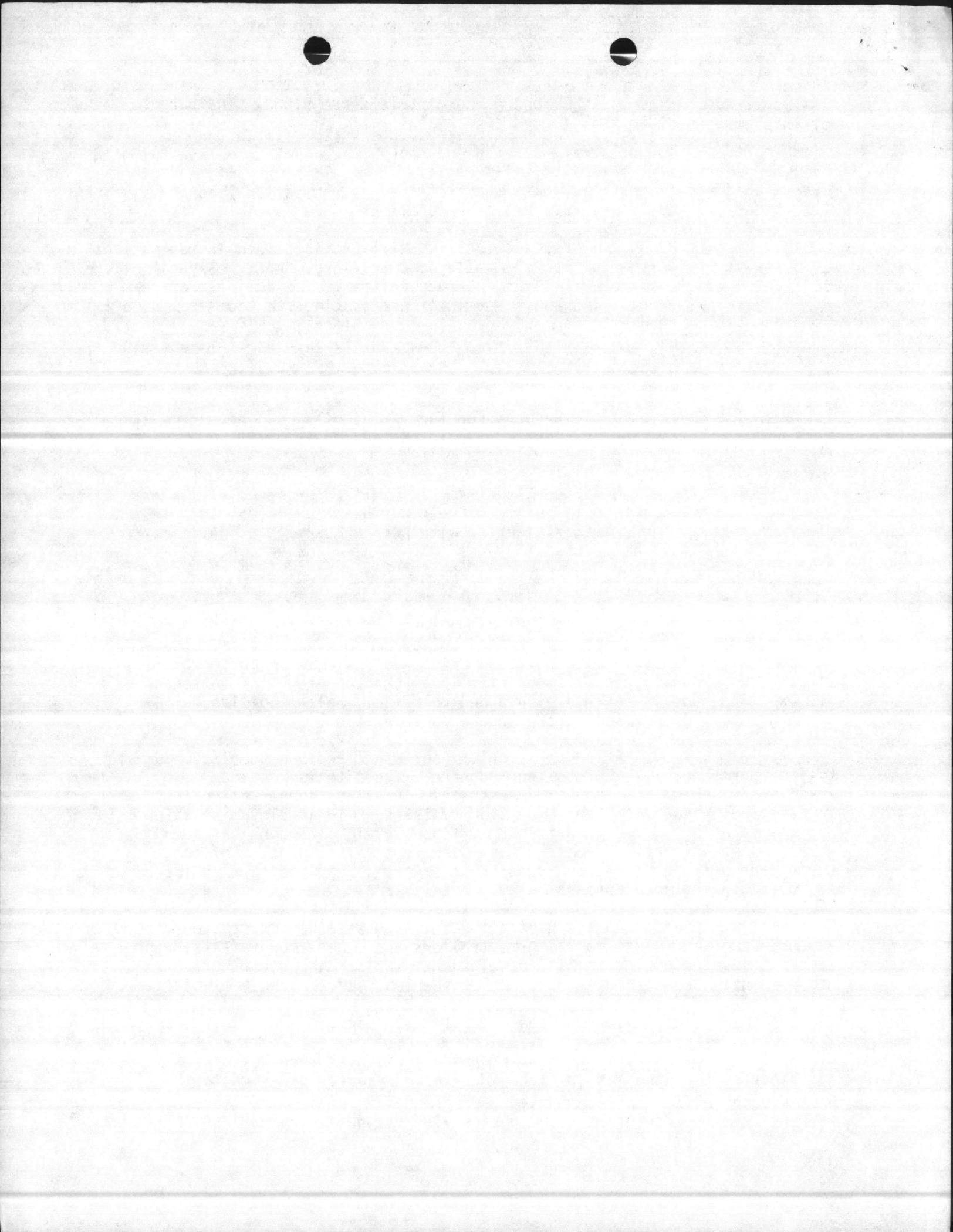
(2) Site B. A lodge (28 units) for Enlisted personnel will be constructed here. The site is located on top of the dune system. There is not sufficient distance between Ocean Drive and the dune to accommodate the structure. Proposed construction will lower the top elevation of the dune. The existing dune is well developed and relatively well stabilized with beach grass, sea oats and other herbaceous vegetation.

(3) Site C. A lodge (24 units) for Staff and Non Commissioned Officer personnel will be constructed here. The site is located immediately behind the frontal dune system. Previous construction in the area has reduced the top elevation of the dune to an elevation which appears to be below 100 year frequency flood level. The dune has been partially stabilized with beach grass plantings. The location of the structures will be behind the dune in an existing graveled parking lot. Adequate working room appears readily available.

(4) Site D. An administrative building will be constructed here. The area contain roads, mobile home trailers and other improvements. The area was leveled during initial development. No sand dunes or wetlands are present. Ground elevation is below the 100 year frequency flood level.

2. Consideration of Alternatives and Site Selection.

a. Scope of Assessment. The proposed facilities were not directly addressed by the Base Master Plan. However, the area is designated as personnel support and has been used for recreation and/or Barracks. The proposed action is consistent with Base land use and broad environmental



and natural resource management objectives. There is potential for conflict with state and local Coastal Zone Management land use plans. The purpose of this assessment is to:

1. Determine the potential impact on the environment.
2. Evaluate consistency of the proposed action with State and local Coastal Management Programs and land use plans.
3. Determine if submittal of an environmental assessment (EA) for review by Headquarters Marine Corps Environmental Impact Review Board is required per MCO 6280.5.
4. Identify means and measures required to prevent, correct or mitigate adverse impact relative to requirements listed in attachment (2).

b. Site Selection. This assessment is based on the following assumptions:

(1) The Facility will be located within the existing developed area of Onslow Beach.

(2) The facility will be connected to the Onslow Beach sewage treatment plant.

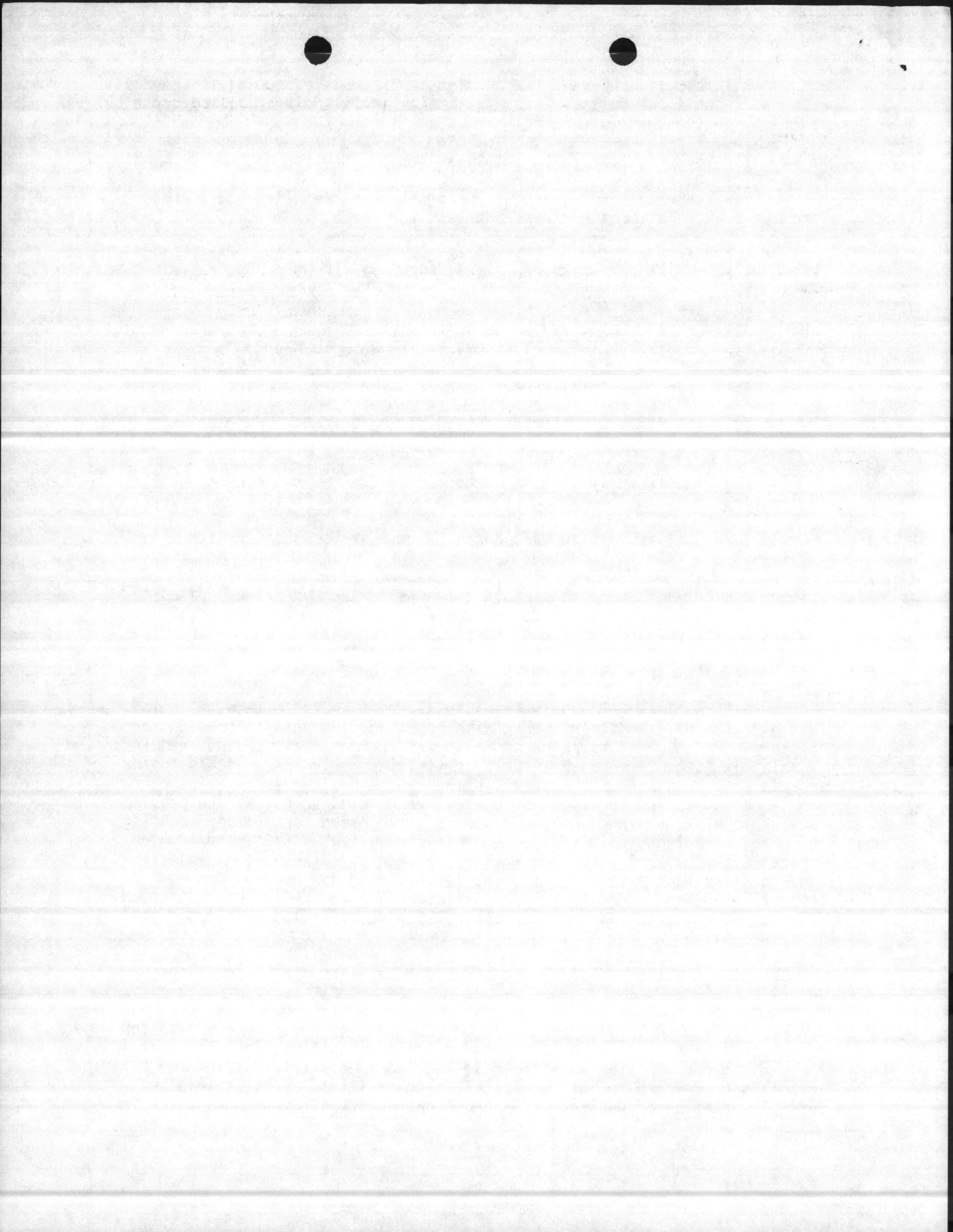
(3) Facility design will address the risks associated with hurricanes and related flooding.

This assessment should be applicable to any site located between Sites A and C shown in attachment (1). The significant environmental variables concern impact on sand dunes and or wetland areas/marsh. Should any site be relocated within the area to reduce impact on these resources, it is not anticipated that this assessment would have to be redone.

c. Alternatives. The only feasible alternative is to take no action. This alternative is not consistent with local requirements to provide military personnel and their dependents with recreational services required to maintain adequate morale. Access to civilian controlled beaches in the area is poor. Even though much attention has been given to alleviating this problem by state and local planning and governmental agencies, the problem appears to be worsening. No basis can be established for not implementing the proposed action if it can be accomplished without significant adverse impact on the Natural Resources within the area affected by the project. The area does have severe limitations for flooding and erosion during storms/hurricanes. However, these considerations relate to the protection of life and property and do not necessarily have significant environmental consequences.

3. Compliance with Federal, State and Local Environmental Regulations and Guidelines.

a. Applicable Regulations. The proposed action has been reviewed for consistency with laws, regulations and guidelines outlined in attachment (2). Because the proposed facility is to be located on a barrier island the proposed action is of concern to both local and state officials/agencies involved in implementation of Coastal Zone Management Act requirements described in



paragraph 1h of attachment (1). The disposed project was discussed by NREAB personnel with Mr. Dan Small, Federal Activities Coordinator, Office of Coastal Management and Mr. Ken Windley, County Planner, Onslow County North Carolina. In addition, Mr. Charles Jones, Office of Coastal Management, Regional Office, Morehead City, N.C. visited the proposed sites and provided interpretations and recommendations. The following summarize concerns identified:

(1) Sand Dune Protection. Construction activities and wear and tear from people working or driving over the dunes typically cause severe damage to vegetation on dunes. Leveling of tops of dunes to accommodate construction is detrimental to the stability of the dunes. The dunes affected by this project as either frontal or primary dunes, and any adverse impact is in conflict with paragraph 1h of attachment (2). Frontal or primary dunes are those dunes which will absorb the wave action and high-water condition during a severe storm. These dunes are well defined at the proposed site.

(2) Erosion Rate of Shoreline. Structures should be designed with sufficient set back to avoid damage from normal erosion rates of beach front. This is a protection of property concern which also relates to sand dune protection.

(3) Impact on marshes and other coastal wetlands. These areas are generally found on the mainland side of the barrier islands. These provide nursery areas for aquatic species and are of primary concern of local, state and federal regulatory agencies. Potential impacts are related to sewage disposal and damage from dredging, filling and spoil disposal.

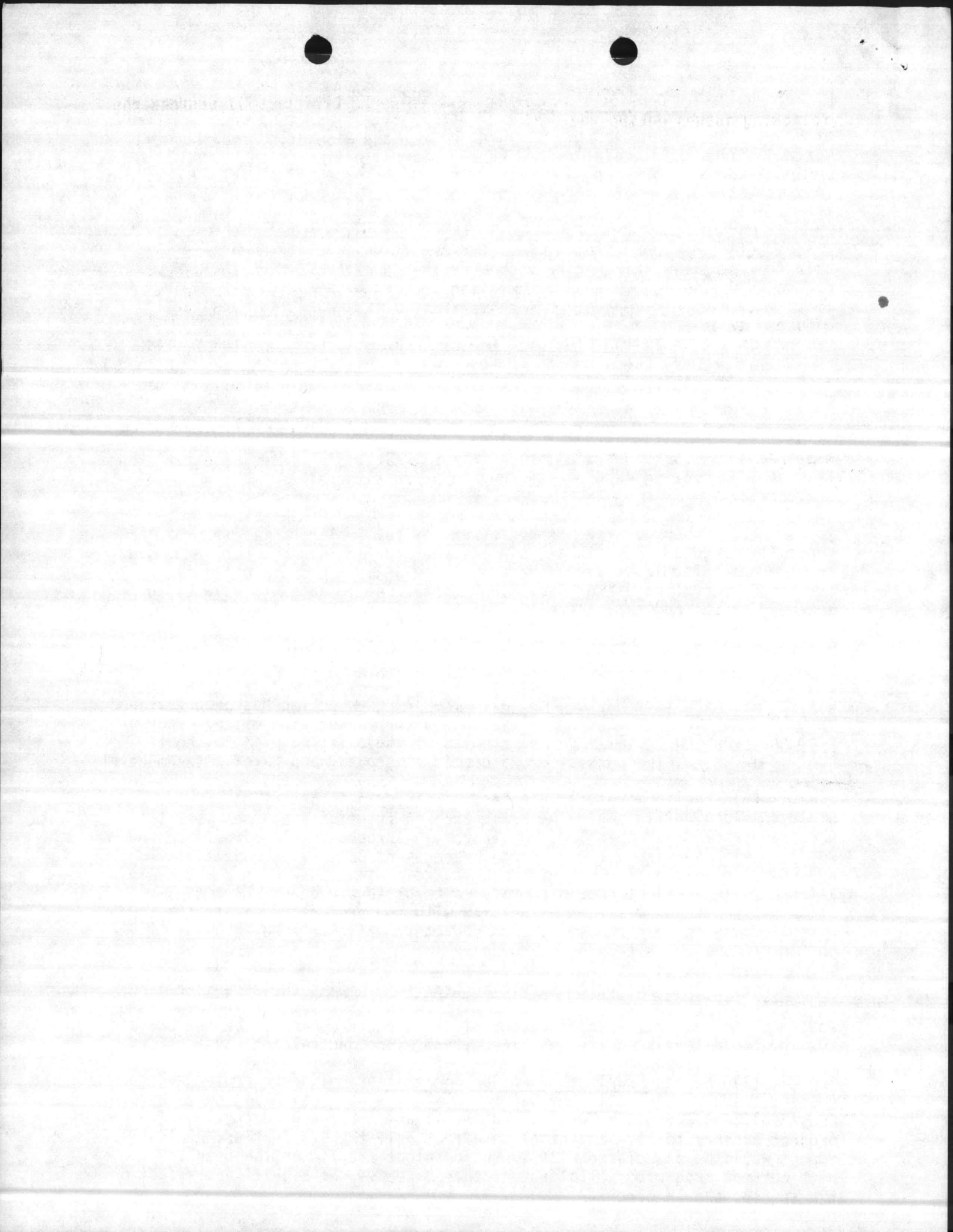
As described in attachment (1), the proposed action should not affect these resources.

(4) Sanitary Waste Disposal. The proposed action has been reviewed by Base Utilities personnel relative to sanitary sewer connection. Wastes from the proposed facility can be handled by the existing plant without conflict with requirements of NPDES permit (see paragraph 2a of attachment (1)).

(5) Public access to Beaches. This is an important concern of state and local officials. The beach area in front of the dunes is not under the exclusive control of the Base. The proposed action would be in conflict with local and state Coastal Management Commission objectives and guidelines if public use of the area and present access were adversely affected. The project should provide walkways across dunes which will allow occupants and visitors associated with the project to get to the beach without damaging sand dunes. Design and construction of the walkways should be done so as to protect dunes.

(6) Flooding during Hurricane/storms. This is an issue involving protection of property and public safety. Although not directly related to environmental issues, specifications of all structures should be appropriate for the flood levels and the hurricane type winds and related wave action.

(7) Endangered/Threatened Species Protection. Four protected species are known to be in the general area, the American Alligator, Eastern Brown Pelican, Green Sea Turtle, and the Atlantic Loggerhead turtle. The project appears to have potential to affect only the Sea Turtles. Potential impact would be associated with increased night traffic on the beach. With current Base program to protect these species, no significant affect on the species should occur.



b. Planning Considerations. The Public Works Officer will address the following issues during the design of the subject facilities:

(1) Will ensure that no structures except crosswalks are constructed on the dunes and that crosswalk design and construction minimizes impact on and repairs any damage to dunes.

(2) Evaluate feasibility to build up dunes in front of sites A and C to reduce chance of waves topping dunes.

(3) Construction at site B will cause serious damage to primary dune unless road is relocated further away from base of dune. Alternatives will be evaluated to either relocate site or relocate road.

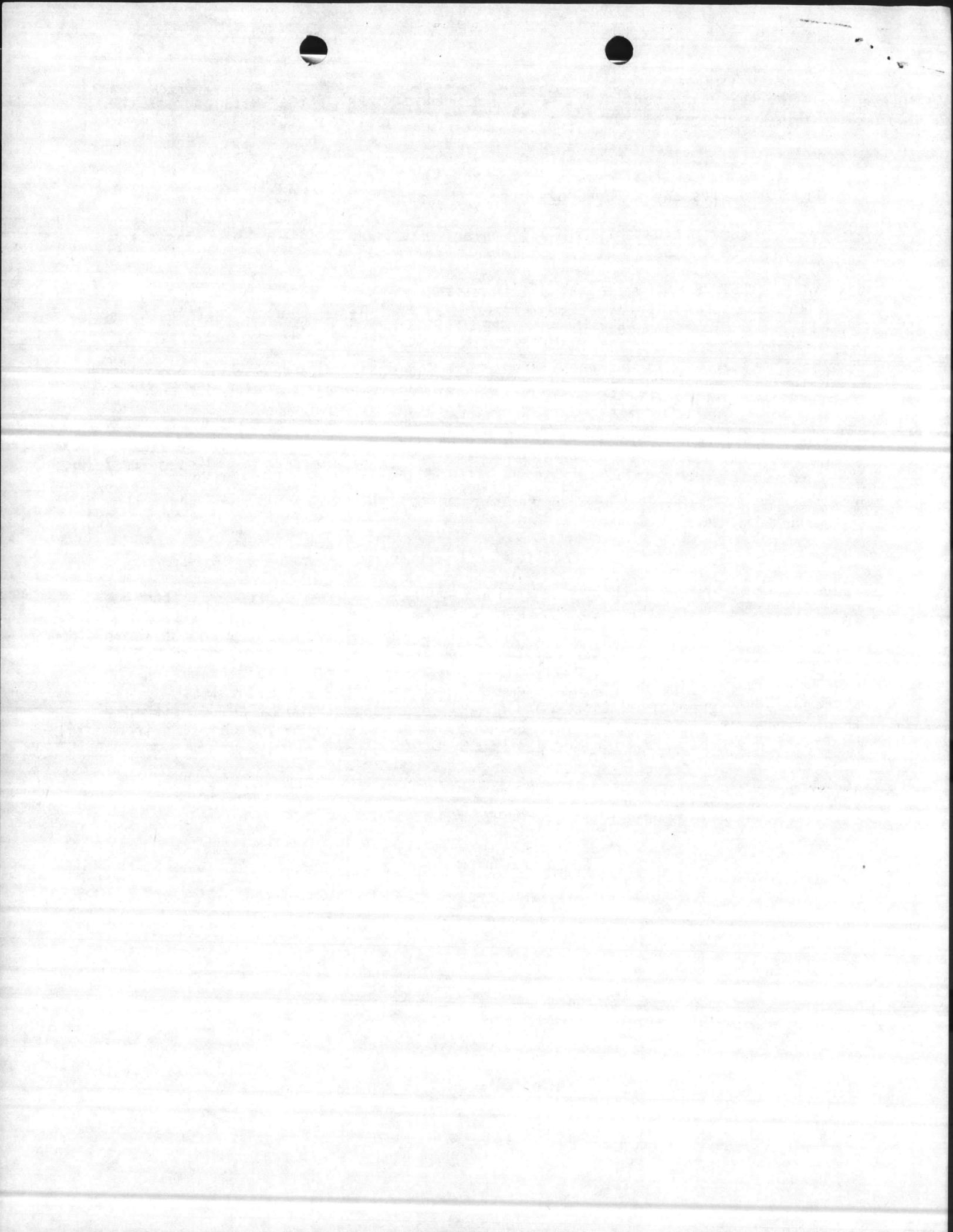
(4) All issues/requirements arising during the review of consistency determinations submitted to N. C. Coastal Management Commission per paragraph 1 (h) of attachment (2).

(5) Incorporate oil and other hazardous material management and disposal requirements identified in attachment (1) into plans and specifications.

(6) Provide approved erosion control plan as required by paragraph 2j of attachment (2).

(7) Discharge all wastewater to sanitary sewer.

4. Conclusions: The proposed action may generate some controversy from private sector relative to economic impact on private commercial recreation. With modification to address concerns discussed in paragraph 3a and 3b above, the project appears to be consistent with local and state regulations. The Public Works Officer will develop and submit a consistency determination to the North Carolina Coastal Management Commission for review. Unless significant unresolved issues are generated during review of the consistency determination, submission of an EA to the Headquarters Marine Corps Environmental Impact Review is not required per MCO 6280.5.



25 May 82

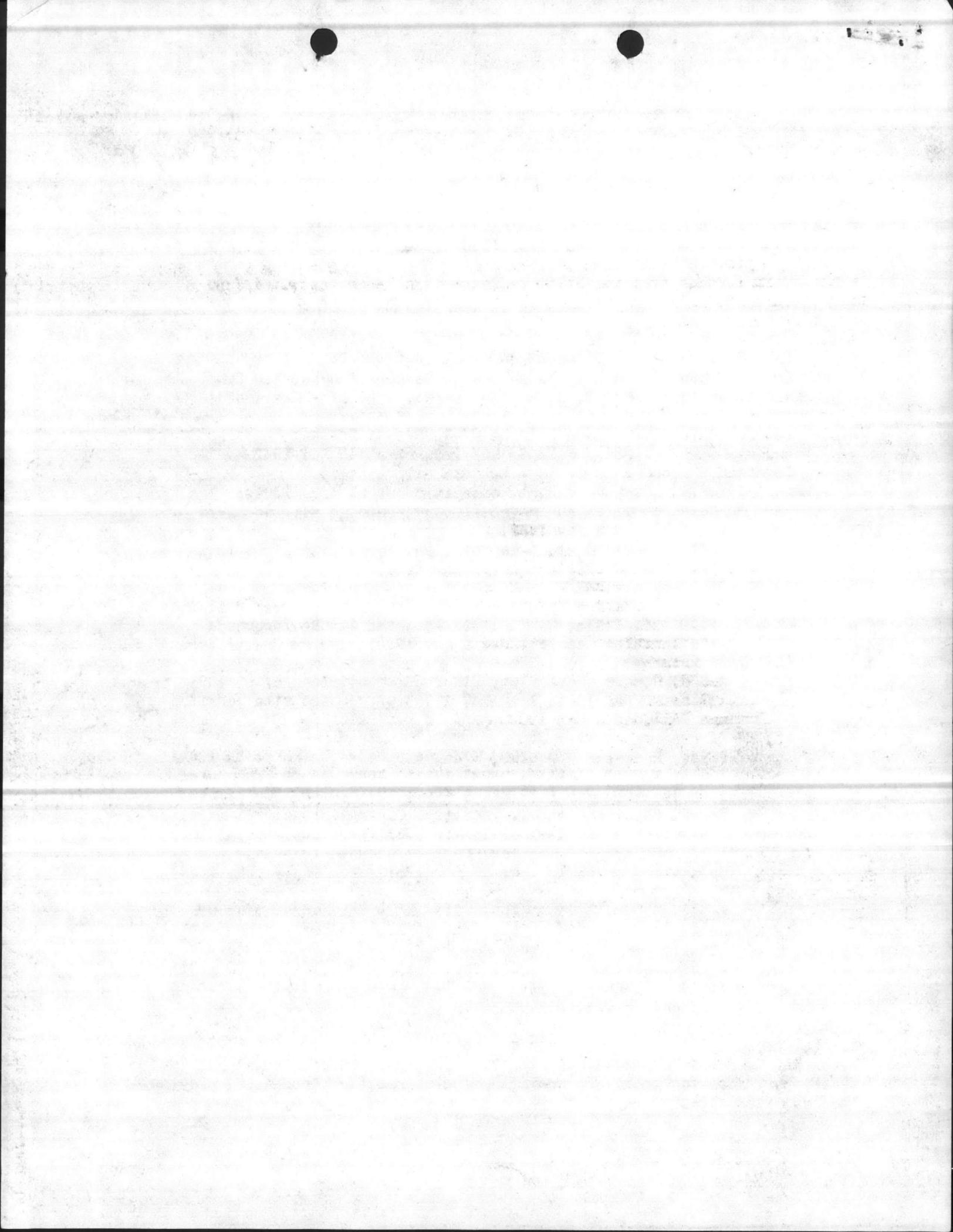
From: Commanding General
To: Commandant of the Marine Corps (Code LFF-1)

Subj: Marine Corps Club and Military Recreation Nonappropriated Fund
(NAF) Construction Program for FY-83 through FY-87

Ref: (a) CMC ltr LFF-JBB:law of 15 Mar 1982
(b) CMC ltr LFF-1-JBB:law of 30 Mar 1982
(c) Phonecon btwn Mr. V. Marshburn (Code 408, PubWks, MCB Camp Lejeune) and Mr. J. Bush (Code LFF-1, CMC) of 4 May 1982

Encl: (1) Comments on the Camp Lejeune FY-83/87 NAF Program
(2) NAVMC Form 10956, FY-83/87 NAF Program of 13 May 1982
(3) FY-83 Program:
 P-775, Rec Lodge/Motel, consisting of DD 1391/1391c;
 NAVFAC 11013/7; and NAVMC 11069 w/proposed site location
 map (all dtd 5 May 1982)
 P-815, Montford Pt. Area Enl Club, consisting of DD 1391
 of 18 Feb 1982 (previously submitted)
(4) FY-84 Program:
 P-794, Roofs for Existing Handball Cts, Basewide, consisting
 of DD 1391/1391c; NAVMC 11013/7; NAVMC 11069 w/proposed
 site location map (all dtd 5 May 1982); and PW Dwg. #14486
(5) FY-85 Program:
 P-820, Renovate Enl Club, Bldg. 62, consisting of DD 1391/
 1391c; NAVFAC 11013/7; NAVMC 11069 w/proposed site location
 map (all dtd 5 May 1982); and PW Dwg. #14485
(6) FY-86 Program:
 P-821, Renovate NCO Club, Bldg. 425, consisting of DD 1391/
 1391c; NAVFAC 11013/7; NAVMC 10915; NAVMC 11069 w/proposed
 site location map (all dtd 5 May 1982); and PW Dwg. #14484
 P-298, Physical Fitness Facility, Central Hadnot Pt. Area,
 consisting of DD 1391 of 19 Mar 1981 (previously submitted)
 P-773, Hobby Shop Complex, Central Hadnot Pt. Area,
 consisting of DD 1391 of 19 Mar 1981 (previously submitted)
(7) FY-87 Program:
 P-823, Handball/Racquetball Cts, MP & CHB, consisting of
 DD 1391/1391c; NAVFAC 11013/7; NAVMC 11069 w/proposed site
 location maps (all dtd 5 May 1982); and PW Dwg. #14487
 P-259, Bowling Alley (French Creek), consisting of DD 1391/
 1391c; NAVFAC 11013/7; NAVMC 11069 w/proposed site location
 map; and PW Dwg. #14488

1. Reference (a) provided guidance and submission dates for the FY-83 through FY-87 NAF Club and Recreation Construction Program. Reference (b) provided further guidance for same. Accordingly, enclosures (1) through (7) provide the requested data.



**Subj: Marine Corps Club and Military Recreation Nonappropriated Fund
(NAF) Construction Program for FY-83 through FY-87**

2. More specifically, enclosure (1) provides comments concerning new projects or noteworthy changes to old projects. Enclosure (2) provides a summary of all projects for the five-year period FY-83 through FY-87. Enclosures (3) through (7) provide individual projects nominated for a specific fiscal year, beginning in FY-83. As directed by reference (c), previously-submitted projects are not included herein and are so indicated with an asterisk on the NAVMC 10956 form. However, the DD 1391 forms for these projects are included for continuity.

3. Camp Lejeune's Five-Year Club and Military Recreation NAF Program consists of nine projects, for a total cost of \$12.4 million dollars. This level of funding is required to meet the goal of satisfying morale, welfare, and recreational deficiencies by end of FY-87.

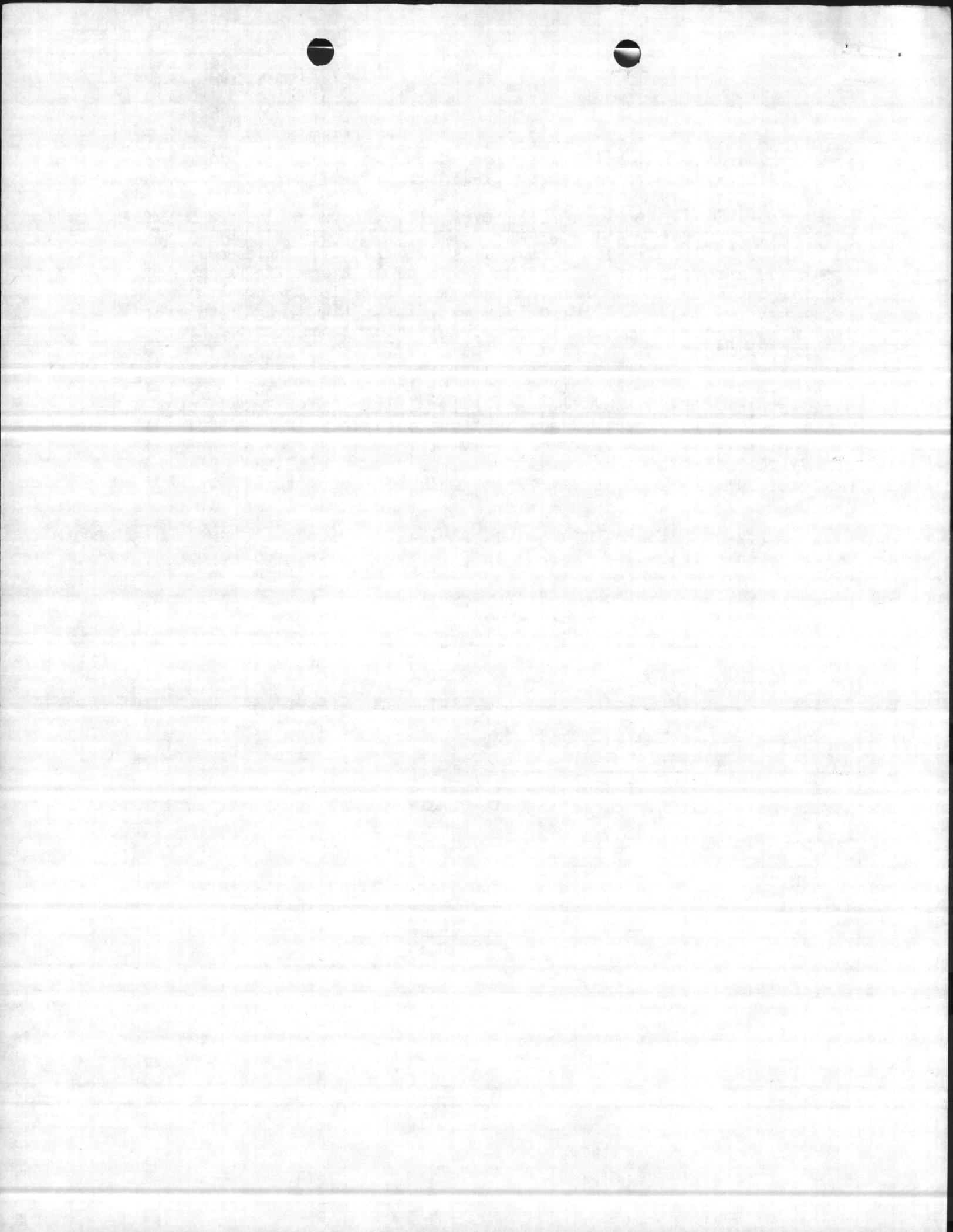
4. The proposed funding plan for the new projects shown in enclosure (7) is as follows:

a. P-823 (FY-87) Handball/Racquetball Courts		\$ 305,000
Local funds:	\$ 152,500	
Central Fund Loan:	0	
Central Fund Grant:	\$ 152,500	
Proposed Repayment Schedule:	None	
b. P-259 (FY-87) Bowling Alley (French Creek)		\$2,800,000
Local Funds:	\$1,400,000	
Central Fund Loan:	\$ 700,000	
Central Fund Grant:	\$ 700,000	
Proposed Repayment Schedule:	\$ 8,750 x 80 quarters	

C. G. COOPER

Copy to: (w/encls)
CMC (Code MSMS)

Blind copy to:
AC/S FAC
BSSO
CCMS



COMMENTS ON CAMP LEJEUNE'S FY-83/87 NAF CLUB AND RECREATION PROGRAM

FY-83

1. P-775, Recreational Lodge/Motel, Onslow Beach Area

This project is currently in the FY-86 HQMC-approved construction program. However, this Command supports and strongly recommends incorporation of this project into the FY-83 Program as originally submitted. Rapid deterioration of existing beach facilities warrants the escalation of this project from FY-86 to FY-83. The project has been revised to provide three separate complexes of wood construction rather than a single structure of masonry.

2. P-815, Montford Point Area Enlisted Club

This project was previously submitted on 1 March 1982 and is currently in the HQMC FY-83 Program.

FY-84

1. P-794, Roofs for Existing Handball Courts, Basewide

This project is resubmitted with one change; Handball Court S-162 is substituted for S-BB59, as S-BB59 is inadequate and is to be replaced by project P-823 enclosed herein. Court S-162 is now listed as substandard. This project will upgrade this court to adequate standards.

FY-85

1. P-820, Renovate Enlisted Club, Bldg. 62

This project provides additional space to the existing club within the confines of existing BFRL requirements. This project will upgrade the condition of Building 62 to adequate.

FY-86

1. P-821, Renovate NCO Club, Bldg. 425

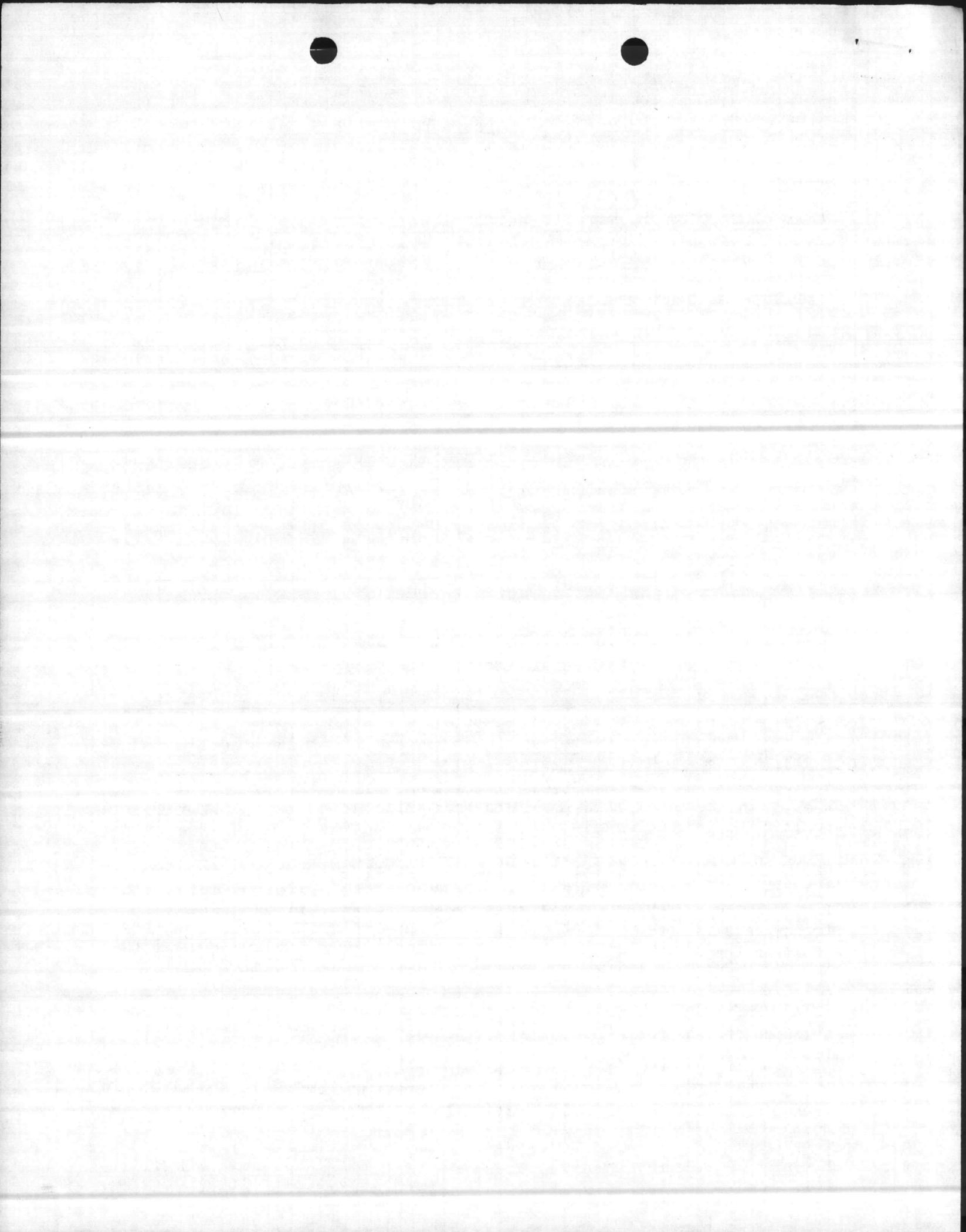
This project provides architectural treatment to the existing NCO Club in keeping with CMC policy of providing facilities for use by NCO personnel in healthy and productive off-duty activities.

2. P-298, Physical Fitness Facility, Central Hadnot Point Area

This project was not validated for reasons stated in reference (b) of the basic correspondence. However, MCON Project P-065 (Gymnasium, French Creek Area) is not a part of nor is it in support of the Physical Fitness Facility (P-298, Hadnot Point Area) submitted herein. It is requested that Project P-298 be validated and approved for the FY-86 Program.

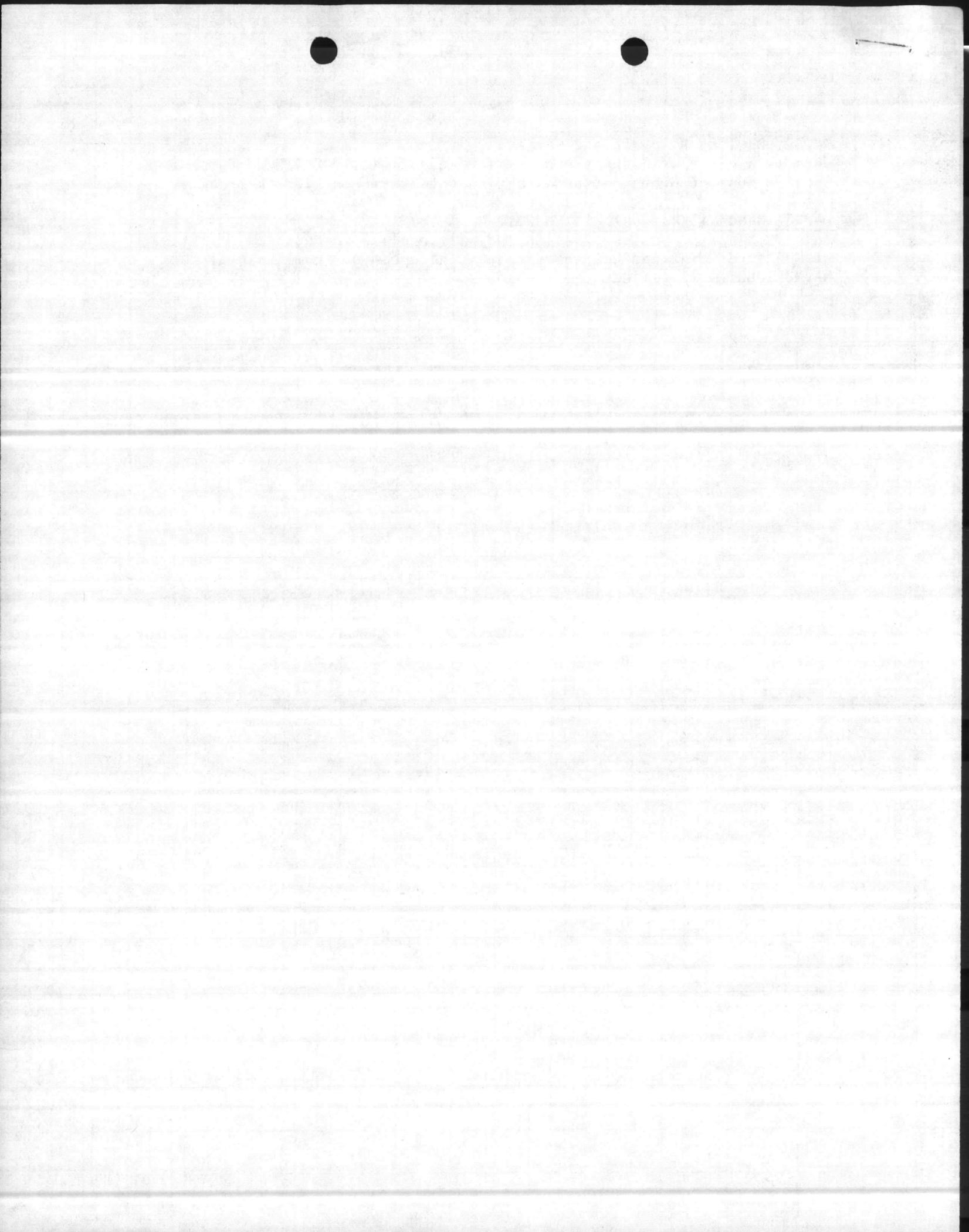
3. P-773, Hobby Shop Complex, Central Hadnot Point Area

This project was not validated for reasons stated in reference (b) of the basic correspondence. The existing facilities are shown as adequate on the current NAVMC 10801. However, in actuality, the facilities are inadequate due to their current physical condition, functional criteria, and size. This change of Condition Code will be reflected in the next submission of the NAVMC 10801.



FY-87

1. P-259, Bowling Alley (French Creek)
This is a new recreational project for approximately 8,913 2d Force Service Support Group personnel assigned to the French Creek Area.
2. P-823, Handball/Racquetball Courts, MP & CHB
This is a new project submission and will replace inadequate facilities at Montford Point and Courthouse Bay. The upcoming submission of the NAVMC 10801 will reflect these changes.



1. COMPONENT NAVY		FY 19 83 MILITARY CONSTRUCTION PROJECT DATA			2. DATE 5 MAY 1982	
3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542			4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, ONSLow BEACH AREA			
5. PROGRAM ELEMENT		6. CATEGORY CODE 740-81	7. PROJECT NUMBER P-775	8. PROJECT COST (\$000) \$3,100		
9. COST ESTIMATES						
ITEM		U/M	QUANTITY	UNIT COST	COST (\$000)	
RECREATIONAL LODGE/MOTEL		SF	34,056	67.80	2,309	
MOTEL UNITS		SF	32,460	51.02	(1,656)	
ADMINISTRATIVE BLDG		SF	1,596	50.75	(81)	
BUILT-IN EQUIPMENT		LS	-	-	(520)	
SOLAR HOT WATER SYSTEM		LS	-	-	(52)	
SUPPORTING FACILITIES		LS	-	-	333	
SPECIAL CONSTRUCTION FEATURES		LS	-	-	(91)	
UTILITIES		LS	-	-	(121)	
SITE IMPROVEMENTS		LS	-	-	(121)	
SUBTOTAL		LS	-	-	2,642	
CONTINGENCY - 5%		LS	-	-	132	
TOTAL CONTRACT COST		LS	-	-	2,774	
SUPERVISION, INSPECTION & OVERHEAD - 5.5%		LS	-	-	152	
TOTAL REQUEST		LS	-	-	2,926	
EQUIPMENT PROVIDED FROM OTHER APPROPRIATIONS		-	-	-	-	
A&E SERVICE (6%)		LS	-	-	175	
PROJECT COST (ROUNDED)		LS	-	-	3,100	
10. DESCRIPTION OF PROPOSED CONSTRUCTION						
Two-story frame buildings, wood siding, pile foundations, bedroom units with bathroom, kitchenette and lounge area. One-story frame building, wood siding, pile foundation Administrative Building. Provide all required exterior/interior utilities, site improvements and demolition.						
11. REQUIREMENTS: 66,640 SF, Adequate: 0 SF, Substandard: 32,584 SF						
PROJECT: Provide a multi-unit recreational lodge/motel with administrative office on Onslow Beach. (Total of 80 units divided into three buildings.)						
REQUIREMENTS: A facility is needed to replace 23 mobile home trailers and other substandard facilities being utilized as recreational lodges.						
CURRENT SITUATION: The mobile home trailers are deteriorated and rusted out and the other facilities are in need of repair.						
IMPACT IF NOT PROVIDED: Military and retired personnel and their dependents will be compelled to continue utilizing substandard facilities resulting in continued low morale.						

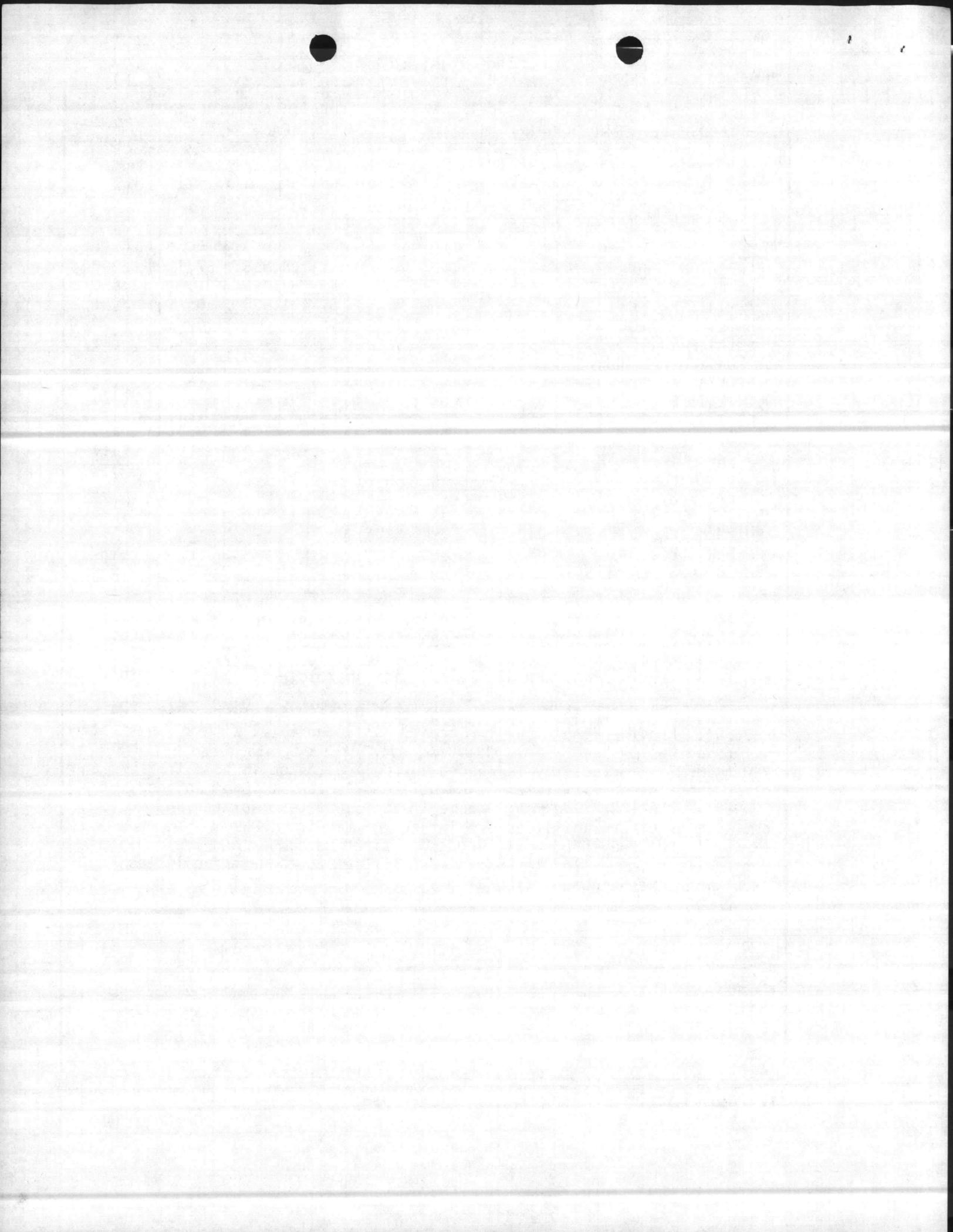
VM

DD FORM 1391
1 DEC 76
S/N 0102-LF-001-3910

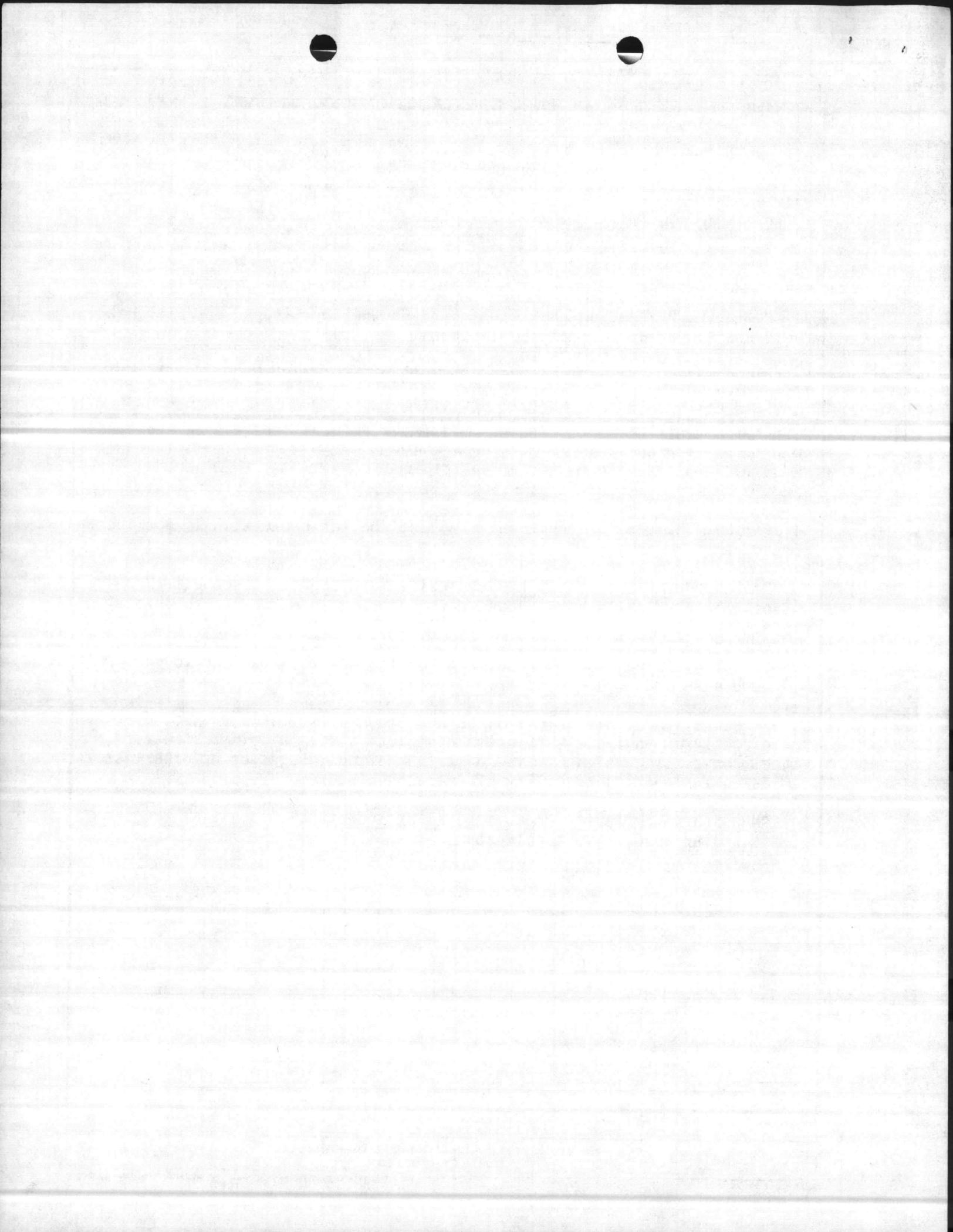
PREVIOUS EDITIONS MAY BE USED INTERNALLY
UNTIL EXHAUSTED

PAGE NO. 1 of 2

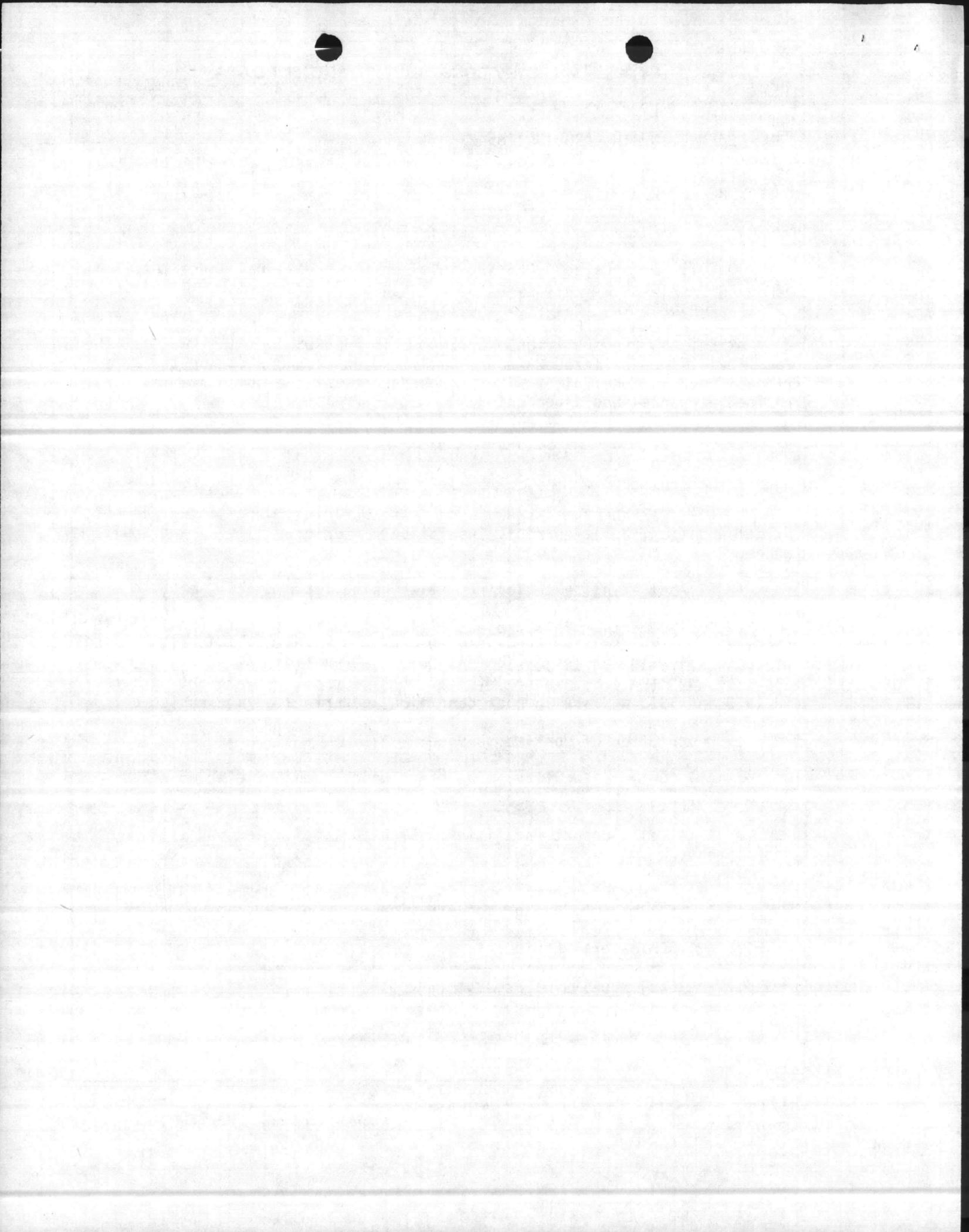
ENCL (3)



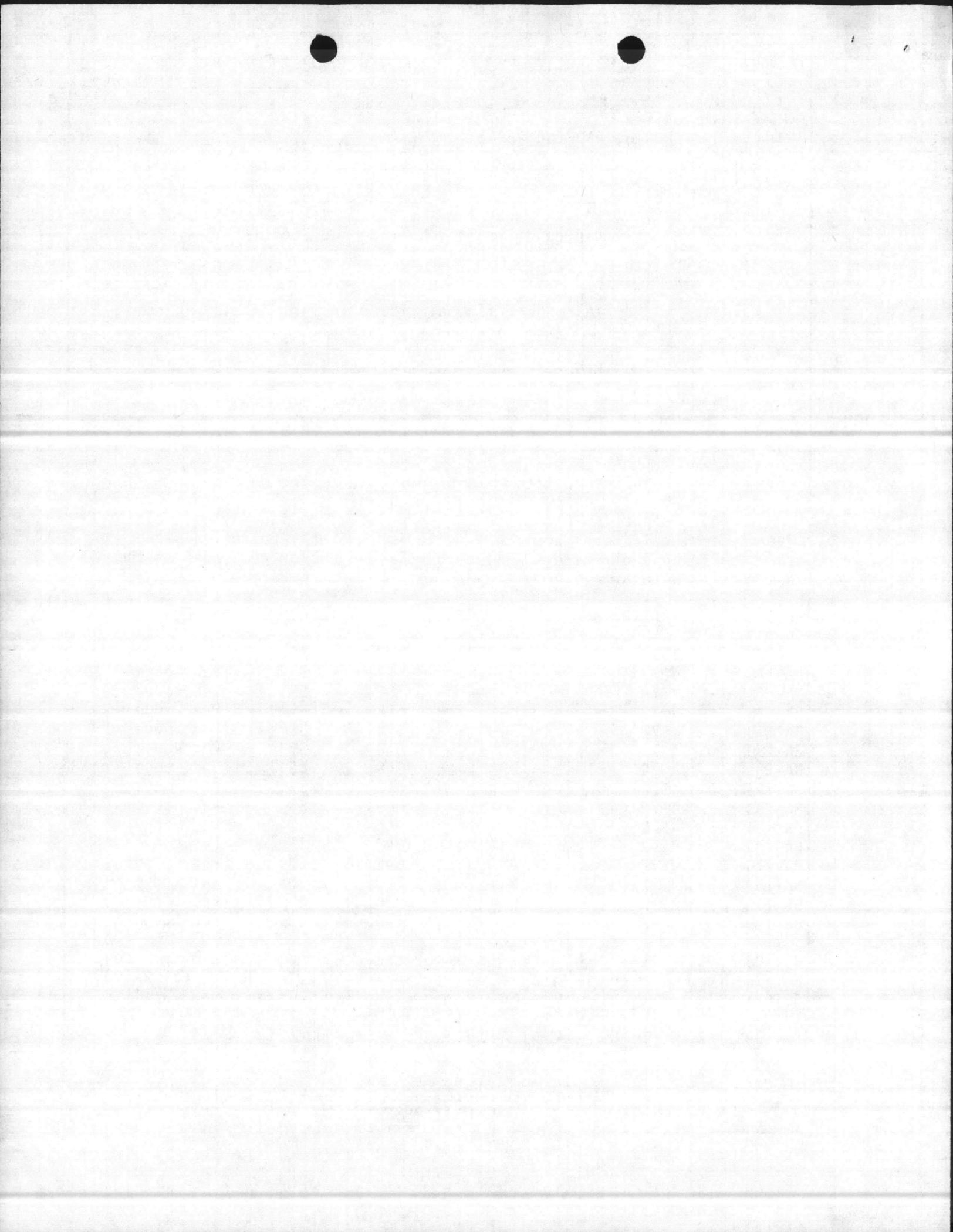
1. COMPONENT NAVY	FY 19 <u>83</u> MILITARY CONSTRUCTION PROJECT DATA	2. DATE 5 MAY 1982
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, ONSLOW BEACH AREA		5. PROJECT NUMBER P-775
<p style="text-align: center;"><u>SPECIAL CONSIDERATIONS</u></p> <ol style="list-style-type: none"> 1. <u>Pollution Prevention, Abatement, and Control</u>: This project will not cause additional air or water pollution. 2. <u>Flood Hazard Evaluation</u>: Requirements of Executive Order No. 11296 (Flood Hazards) are not applicable. 3. <u>Environmental Impact</u>: The project Environmental Impact Assessment will be written and processed through the local EIA Review Board. No significant adverse impact is anticipated. 4. <u>Fallout Shelter Construction</u>: Fallout shelter protection is not incorporated in this project. 5. <u>Design for Accessibility of Physically Handicapped Personnel</u>: Provisions for physically handicapped personnel are incorporated in this project. 6. <u>Use of Air Conditioning</u>: Ceiling "U" factors will be made to conform WITH DOD 4270.1-M. 7. <u>Preservation of Historical Sites and Structures</u>: This project does not directly or indirectly affect a district, site, building, structure, object, or setting which is listed in the National Register or otherwise possesses a significant quality of American history. 8. <u>"New Start" Criteria for Commercial or Industrial Activities Program (OMB Circular A-76)</u>: Not applicable. 		



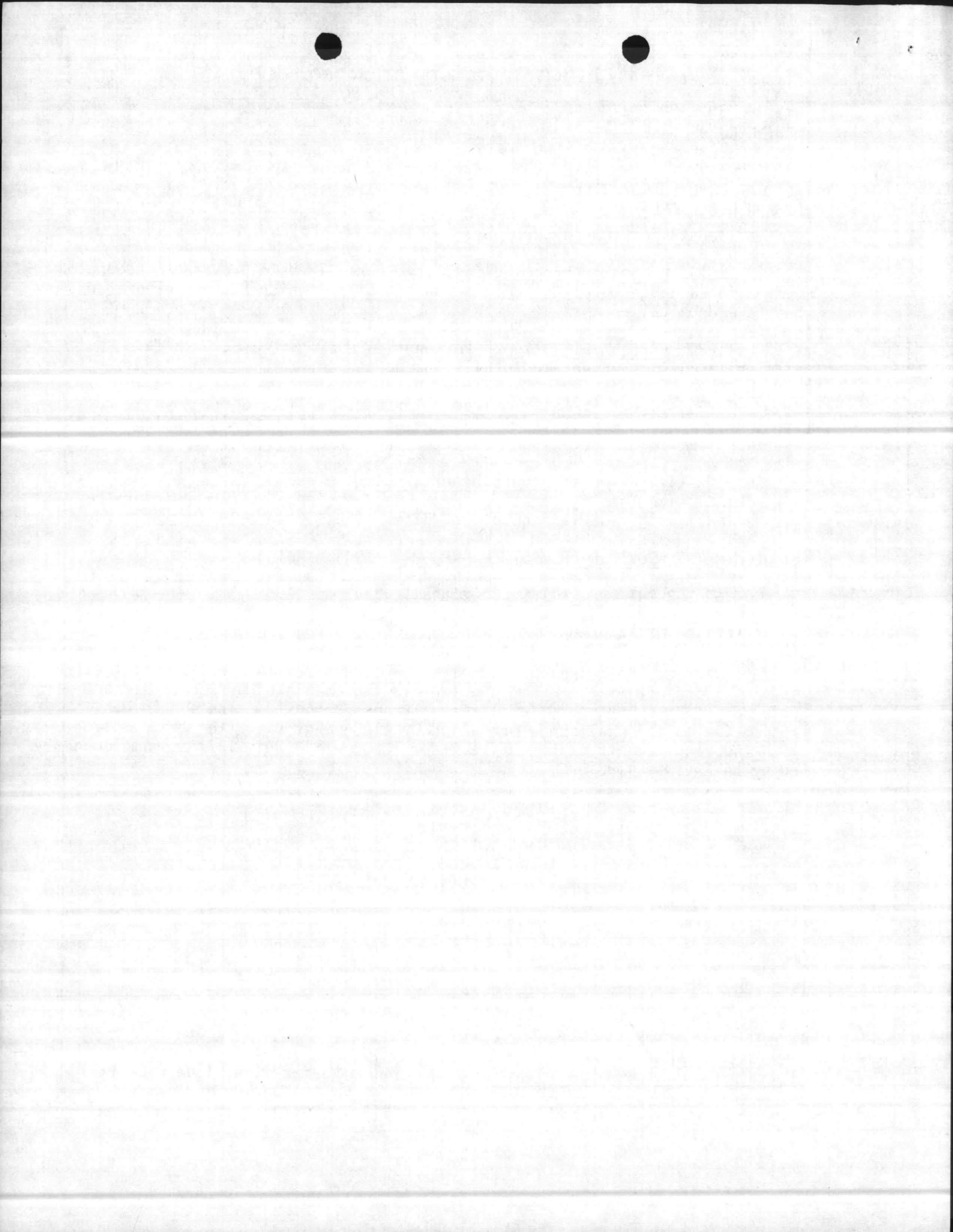
1. COMPONENT NAVY	FY 19 83 MILITARY CONSTRUCTION PROJECT DATA	2. DATE 5 MAY 1982
3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL ON SLOW BEACH AREA		5. PROJECT NUMBER P-775
<p style="text-align: center;"><u>FACILITY STUDY</u></p> <p>1. <u>PROJECT</u>: Provide a 34,056 SF, multi-unit recreational lodge/motel/ admin complex complete with vending space, interior/exterior utilities, special construction features, and site improvements.</p> <p>2. <u>CURRENT AND PLANNED FUTURE WORKLOAD WITH REGARDS TO THIS PROJECT</u>: The facility will be utilized 24 hours daily, seven days a week and the duration of need is indefinite. The proposed units will accommodate military, retired personnel and dependents.</p> <p>3. <u>DESCRIPTION OF PROPOSED CONSTRUCTION</u>:</p> <p style="padding-left: 40px;">a. <u>Type of Construction</u>:</p> <p style="padding-left: 80px;">(1) Permanent two-story wood frame building, wood siding, carpet, pile foundation, built-up roof, insulation, interior utilities and appliances.</p> <p style="padding-left: 80px;">(2) Lighting, exterior utilities, site improvements, etc.</p> <p style="padding-left: 40px;">b. <u>Replacements</u>: This project will replace Trailers #5 (BA-189), #6 (BA-188), #7 (BA-187), #8 (BA-186), #9 (BA-185), #10 (BA-184), #11 (BA-183), #12 (BA-182), #13 (BA-181), #14 (BA-180), #15 (BA-179), #17 (BA-172), #19 (BA-174), #20 (BA-175), and #21 (BA-176). The trailers were put on site in 1972 and 1973 and are in poor condition, deteriorated and rusted out.</p> <p style="padding-left: 40px;">c. <u>Description of Work to be Done</u>:</p> <p style="padding-left: 80px;">(1) <u>Primary Facility</u>: Two-story wood frame building on pile foundation.</p> <p style="padding-left: 120px;">(a) <u>Support Facilities</u>: Lighting, utilities and site improvement.</p> <p style="padding-left: 80px;">(2) <u>Energy Conservation</u>: Energy efficient equipment and building orientation for maximum energy conservation will be used.</p> <p style="padding-left: 80px;">(3) <u>Collateral Equipment</u>:</p> <p style="padding-left: 120px;">(a) <u>Built-in: Project Funded</u>:</p>		



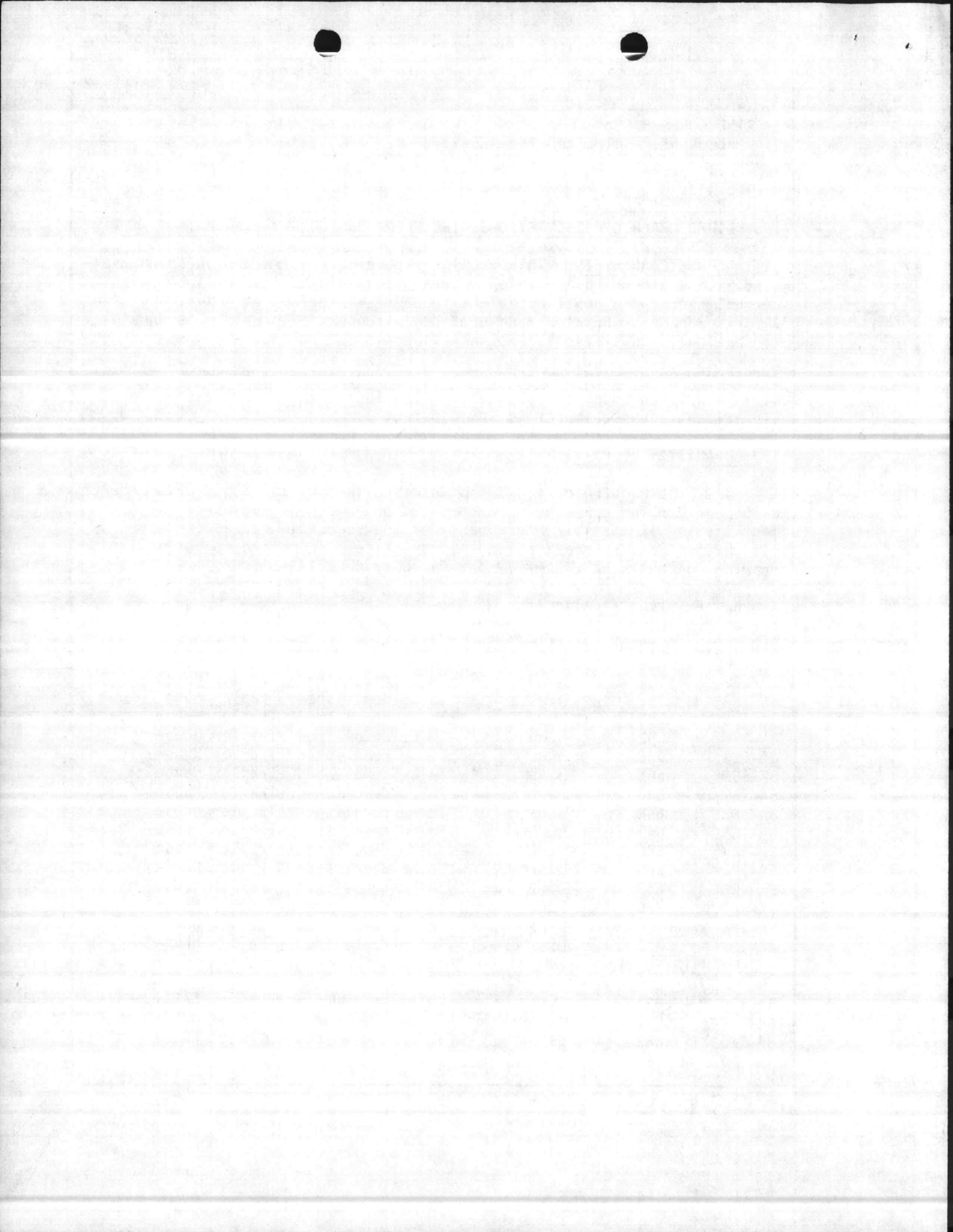
1. COMPONENT NAVY	FY 1983 MILITARY CONSTRUCTION PROJECT DATA			2. DATE 5 MAY 1982	
3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542					
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL ON SLOW BEACH AREA				5. PROJECT NUMBER P-775	
<p style="text-align: center;">Air conditioning, heating and ventilating systems. Plumbing. Telephone, fire alarm, sprinkler, TV and intercom systems. Drinking water coolers, metal frames with windows and window screens. Kitchenette, counter top with stove, sink and refrigerator (built-in).</p>					
<p style="text-align: center;">(b) <u>Expense Item:</u> To be purchased using NAF appropriations.</p>					
<p>(4) <u>Supporting Facilities:</u> Special piling, foundation, solar hot water system, collateral equipment, site improvement, pollution abatement, etc. The following trailers will be demolished and/or removed from the construction site area.</p>					
<u>BLDG NO.</u>	<u>CONSTR.</u>	<u>TYPE CONSTR.</u>	<u>SF</u>	<u>COND.</u>	<u>USE.</u>
BA-172	1973	T	552	SS	Rec Lodge
BA-174	1973	T	552	SS	Rec Lodge
BA-175	1973	T	552	SS	Rec Lodge
BA-176	1973	T	552	SS	Rec Lodge
BA-179	1972	T	648	SS	Rec Lodge
BA-180	1972	T	648	SS	Rec Lodge
BA-181	1972	T	648	SS	Rec Lodge
BA-182	1972	T	648	SS	Rec Lodge
BA-183	1972	T	648	SS	Rec Lodge
BA-184	1972	T	648	SS	Rec Lodge
BA-185	1972	T	648	SS	Rec Lodge
BA-186	1972	T	648	SS	Rec Lodge
BA-187	1972	T	720	SS	Rec Lodge
BA-188	1972	T	720	SS	Rec Lodge
BA-189	1972	T	720	SS	Rec Lodge
<p>4. <u>COST ESTIMATE:</u> Area cost factor for Camp Lejeune, NC, is 0.95. Cost data derived from the Military Construction Cost Review Guide, FY-82 (DOD 4270.1-CG), and escalated to FY-83 to provide for this proposed facility.</p>					
<p>5. <u>JUSTIFICATION FOR PROJECT AND FOR SCOPE OF PROJECT:</u></p>					



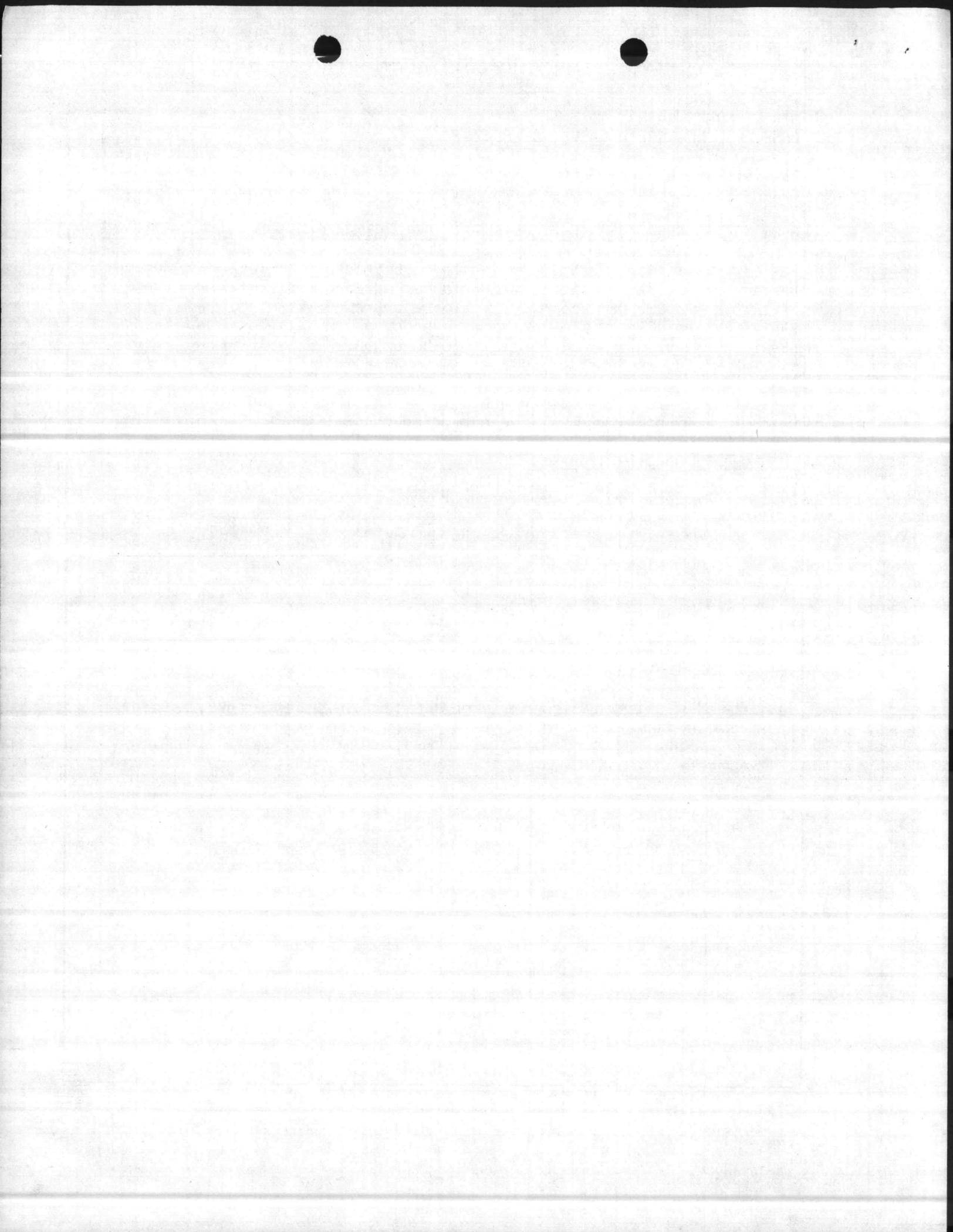
1. COMPONENT NAVY	FY 19 <u>83</u> MILITARY CONSTRUCTION PROJECT DATA	2. DATE 5 MAY 1982																												
3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542																														
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL ONSILOW BEACH AREA		5. PROJECT NUMBER P-775																												
<p>a. <u>Justification for Project:</u></p> <p>(1) <u>Project:</u> Proposed facility is required to provide an adequate recreational lodge/motel to replace house trailers which have deteriorated beyond economical repair.</p> <p>(2) <u>Current Situation:</u> Personnel are staying in substandard house trailer facilities which are totally inadequate for recreational needs.</p> <p>(3) <u>Impact if Not Provided:</u> Personnel will continue to utilize substandard and makeshift facilities, resulting in low morale from spending vacation time in the deteriorated recreational facilities (trailers).</p> <p>b. <u>Justification for Scope of Project:</u> The project scope (34,056) is the minimum size facility that can meet the deficiency requirement for the recreational lodge/motel needs of the Base. (See item 13.)</p> <p>6. <u>EQUIPMENT PROVIDED FROM OTHER APPROPRIATIONS:</u> Not applicable.</p> <p>7. <u>COMMON SUPPORT FACILITIES:</u> Not applicable.</p> <p>8. <u>EFFECT ON OTHER RESOURCES:</u> The project will require approximately \$8,497 per year in increased O&MMC funds for increased utility services and operations. No additional personnel will be required to operate this facility. The project will enhance and improve the morale of personnel presently using existing substandard facilities. Proposed construction should be responsive to the challenges presented by the energy situation and comply with the requirements of Executive Order 12003 of 20 July 1977 and implemented by NAVFACINST 4100.5A.</p> <p style="text-align: center;"><u>UTILITY REQUIREMENTS</u></p> <table border="0"> <tr> <td>a. Electricity</td> <td>Consumption</td> <td>83,819</td> <td>KWHR/yr</td> </tr> <tr> <td></td> <td>Peak Demand</td> <td>52</td> <td>KW</td> </tr> <tr> <td></td> <td>Average Demand</td> <td>48</td> <td>KW</td> </tr> <tr> <td>b. Steam</td> <td>Consumption</td> <td>3,759,752</td> <td>Lbs/Yr</td> </tr> <tr> <td></td> <td>Demand</td> <td>1,346</td> <td>Lbs/Hr</td> </tr> <tr> <td>c. Coal</td> <td></td> <td>146.8</td> <td>Tons/Yr</td> </tr> <tr> <td>d. Adequate utility requirements are available.</td> <td></td> <td></td> <td></td> </tr> </table> <p>9. <u>SITING OF THE PROJECT:</u> This facility will be located in the Onslow Beach area in compliance with the Camp Lejeune Master Plan. (See Encl (1).)</p>			a. Electricity	Consumption	83,819	KWHR/yr		Peak Demand	52	KW		Average Demand	48	KW	b. Steam	Consumption	3,759,752	Lbs/Yr		Demand	1,346	Lbs/Hr	c. Coal		146.8	Tons/Yr	d. Adequate utility requirements are available.			
a. Electricity	Consumption	83,819	KWHR/yr																											
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1. COMPONENT NAVY	FY 19 <u>83</u> MILITARY CONSTRUCTION PROJECT DATA	2. DATE 5 MAY 1982	
3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542			
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL ON SLOW BEACH AREA	5. PROJECT NUMBER P-775		
10. <u>OTHER GRAPHIC PRESENTATIONS, INCLUDING PHOTOGRAPHS:</u> None.			
11. <u>ECONOMIC ANALYSIS:</u> This facility is being constructed on an undeveloped site adjacent to a developed area. Economic savings will be in nominal energy consumption savings to be realized from efficient operations. This is a nonappropriated fund project in support of providing adequate recreational facilities for personnel morale and recreation.			
12. <u>ENVIRONMENTAL IMPACT ASSESSMENT:</u> An environmental impact assessment will be written and processed through the local EIA Review Board. No significant adverse impact is anticipated.			
13. <u>QUANTITATIVE DATA:</u>			
a. <u>BFRL Requirements:</u> Basewide miscellaneous is 66,640 SF. NAVFAC P-80 provides for space authorized based on number of personnel using facility and limitation on occupancy of the recreation area determined by its physical and recreational characteristics. There are no definitive drawings given in NAVFAC P-272 for Category Code 740-81.			
b. <u>Existing Facilities:</u>			
<u>BLDG NO.</u>	<u>AREA SF</u>	<u>COND CODE</u>	<u>REMARKS</u>
BA-172	552	Inad*	To be demolished (Trailer House)
BA-174	552	Inad*	To be demolished (Trailer House)
BA-175	552	Inad*	To be demolished (Trailer House)
BA-176	552	Inad*	To be demolished (Trailer House)
BA-179	648	Inad*	To be demolished (Trailer House)
BA-180	648	Inad*	To be demolished (Trailer House)
BA-181	648	Inad*	To be demolished (Trailer House)
BA-182	648	Inad*	To be demolished (Trailer House)
BA-183	648	Inad*	To be demolished (Trailer House)
BA-184	648	Inad*	To be demolished (Trailer House)
BA-185	648	Inad*	To be demolished (Trailer House)
BA-186	648	Inad*	To be demolished (Trailer House)
BA-187	720	Inad*	To be demolished (Trailer House)
BA-188	720	Inad*	To be demolished (Trailer House)
BA-189	720	Inad*	To be demolished (Trailer House)
	10,200	Inadequate*	
BA-114	19,324	SS*	To be upgraded with local NAF funds
BA-119	1,596	SS*	To be upgraded with local NAF funds
BA-120	1,232	SS*	To be upgraded with local NAF funds



1. COMPONENT NAVY		FY 19 83 MILITARY CONSTRUCTION PROJECT DATA		2. DATE 5 MAY 1982	
3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542					
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL ONSLow BEACH AREA				5. PROJECT NUMBER P-775	
<u>BLDG NO.</u>	<u>AREA (SF)</u>	<u>COND CODE</u>	<u>REMARKS</u>		
BA-143	1,536	SS *	To be upgraded with local NAF funds		
BA-144	3,152	SS *	To be upgraded with local NAF funds		
BA-146	1,232	SS *	To be upgraded with local NAF funds		
BA-147	772	SS *	To be upgraded with local NAF funds		
SBA-142	3,740	SS *	To be upgraded with local NAF funds		
32,584 Substandard *					
* Facility is reflected as adequate in NAVFAC 10651 dated 31 October 1980 which is a misnomer and will be corrected on next document update.					
c. <u>Planned Facilities:</u>					
<u>Project No.</u>		<u>Area SF</u>			
P-775		34,056			
d. <u>Summary:</u>					
Existing Adequate Facilities:		0			
Planned Facilities:		34,056			
Total Planned & Existing:		34,056			
BFRL Total:		66,640			
14. <u>FUNDING:</u> Funding will be from the Non-Appropriated Fund, Central Construction Fund, HQMC.					



COST ESTIMATE

DATE PREPARED
5 MAY 1982

SHEET 1 OF 1

ACTIVITY AND LOCATION
MARINE CORPS BASE
CAMP LEJEUNE, NORTH CAROLINA 28542

CONSTRUCTION CONTRACT NO.

IDENTIFICATION NUMBER
P-775

PROJECT TITLE
RECREATIONAL LODGE/MOTEL, ONSLOW BEACH AREA

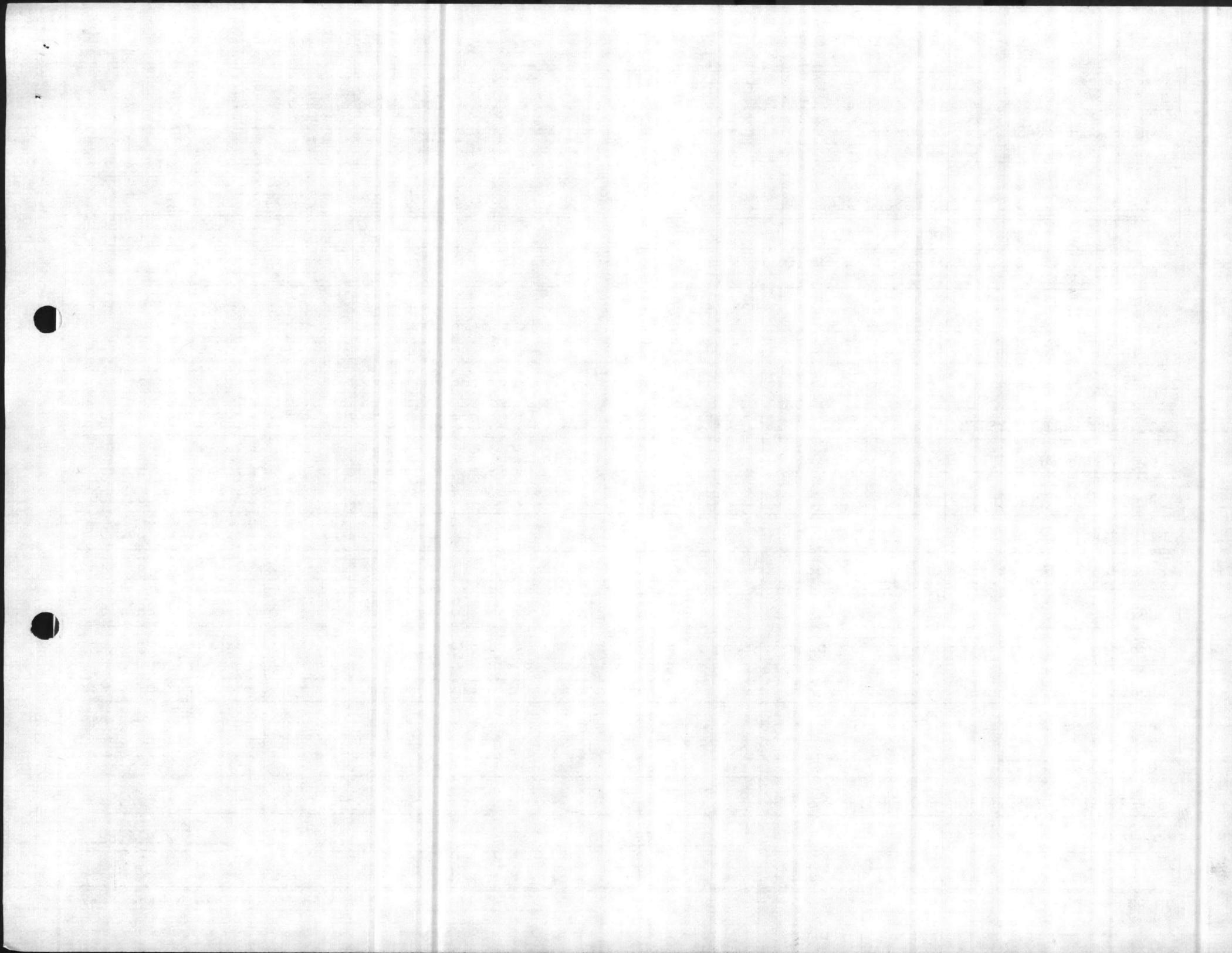
ESTIMATED BY
V. MARSHBURN

CATEGORY CODE NUMBER
740-81

STATUS OF DESIGN
 PED 30% 100% FINAL Other (Specify) Project

JOB ORDER NUMBER

ITEM DESCRIPTION	QUANTITY		MATERIAL COST		LABOR COST		ENGINEERING ESTIMATE	
	NUMBER	UNIT	UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL
<u>RECREATIONAL LODGE/MOTEL</u>								
MOTEL UNITS	32,460	SF					36.43	1,182,517
ADMIN BUILDING	1,596	SF					36.43	58,142
BUILT-IN EQUIPMENT	1	LS						371,400
SOLAR HOT WATER SYSTEM	1	LS						37,200
<u>SUPPORTING FACILITIES</u>								
SPECIAL CONSTRUCTION (PILINGS)	1	LS						65,000
UTILITIES								86,400
SITE IMPROVEMENTS								86,500
SUBTOTAL								1,887,159
OVERHEAD, PAYROLL TAXES, INS, S.S., PROFIT - 40%								754,863
SUBTOTAL								2,642,022
CONTINGENCY - 5%								132,101
TOTAL CONTRACT COST								2,774,123
SUPERVISION, INSPECTION & OVERHEAD - 5.5%								152,576
SUBTOTAL								2,926,699



0: COMMANDANT OF THE MARINE CORPS (LFF-1)

FOR USE BY THE REQUESTER

FROM: MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542

CATEGORY CODE AND PROJECT TITLE 740-81 - Recreational Lodge/Motel, Onslow Beach Area	TYPE OF FUNDING NAF	COST (\$000) 3,100	FISCAL YEAR FY-83
PROJECT DESCRIPTION Two-story frame buildings, woodsiding, pile foundations, bedroom units with bathroom, kitchenette and lounge area. One-story framed Administrative Building.	REMARKS This is a NAF project in support of recreational requirements.		
TYPE OF MAP Site Location (Encl 1)	DATE	REQUESTED BY (Typed name and signature) R. E. CARLSON, CDR, CEC, USN	DATE 5 MAY 1982

ANALYSIS

(Place a check (✓) in box opposite each item. Y = Yes; N = No; NA = Not Applicable)

Y	N	NA	PROJECT SITING CONSIDERATION	Y	N	NA	PROJECT SITING CONSIDERATION
			a. COMPATIBLE WITH ACTIVITY PLANNED DEVELOPMENT GOALS				1. COMPLIES WITH THE FOLLOWING CRITERIA
			b. DEMONSTRATES SOUND PLANNING PRINCIPLES				(1) AMMUNITION AND EXPLOSIVES
			c. MEETS MINIMUM PLANNING AND SITING CRITERIA				(2) ELECTROMAGNETIC RADIATION
							(3) AIRFIELD SAFETY
							(4) NOISE INTENSITY
							(5) FIRE PROTECTION

COMPATIBLE WITH ACTIVITY MASTER PLAN (Check appropriate box)

- | | | |
|---|---|---|
| <input type="checkbox"/> IDENTICAL | <input type="checkbox"/> NOT SHOWN BUT CONSISTENT | <input type="checkbox"/> NOT SHOWN AND INCONSISTENT |
| <input type="checkbox"/> DIFFERENT BUT CONSISTENT | | <input type="checkbox"/> DIFFERENT AND INCONSISTENT |

CRITERIA CERTIFICATION(S) REQUESTED (Check)

- DDESB CNO NAVSEA NAVLEX NAVAIR OTHER

DATE

DATE CERTIFICATION(S) RECEIVED

- _____ DDESB _____ CNO _____ NAVSEA _____ NAVLEX _____ NAVAIR _____ OTHER

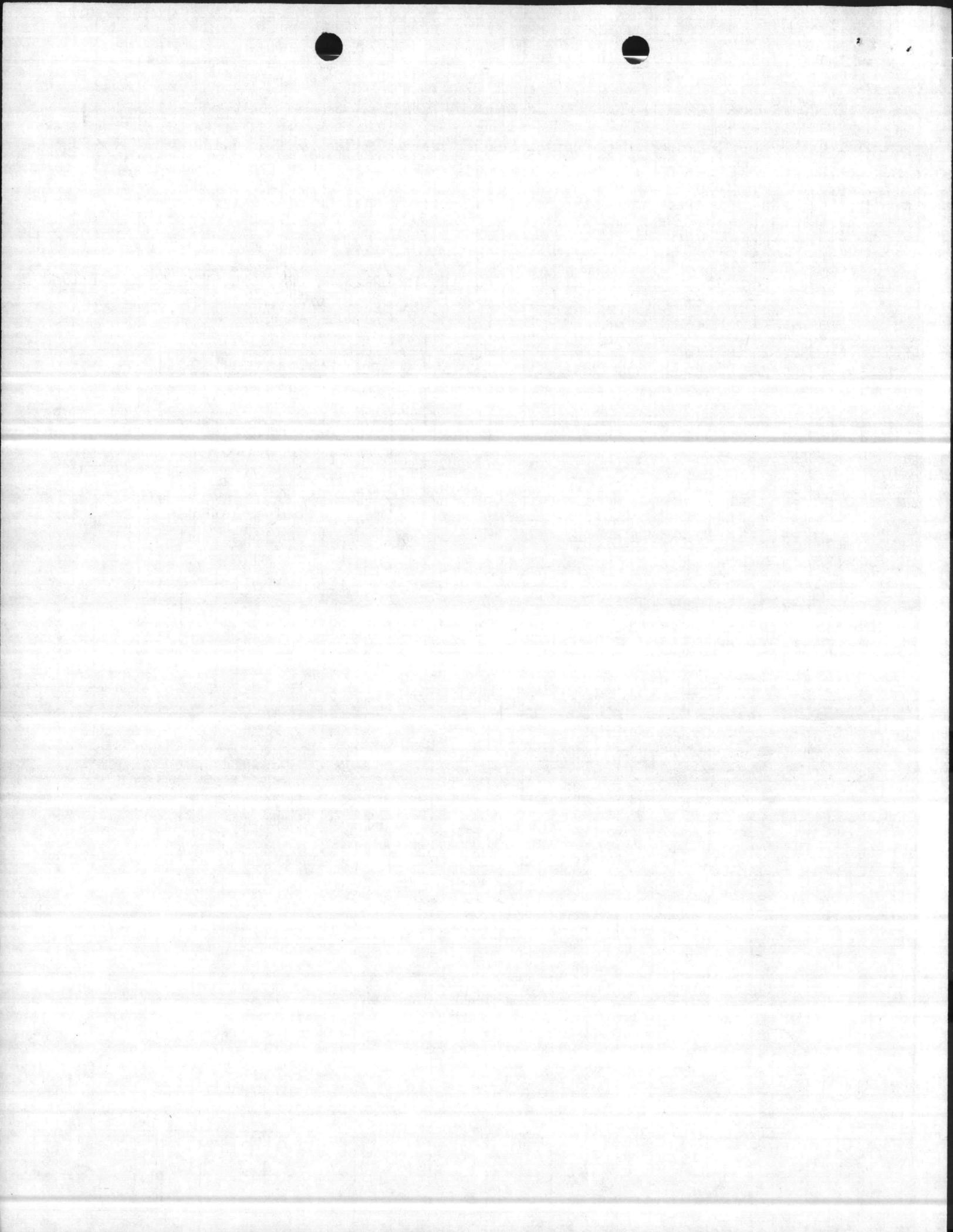
- ACTION
 APPROVED DISAPPROVED DEFERRED

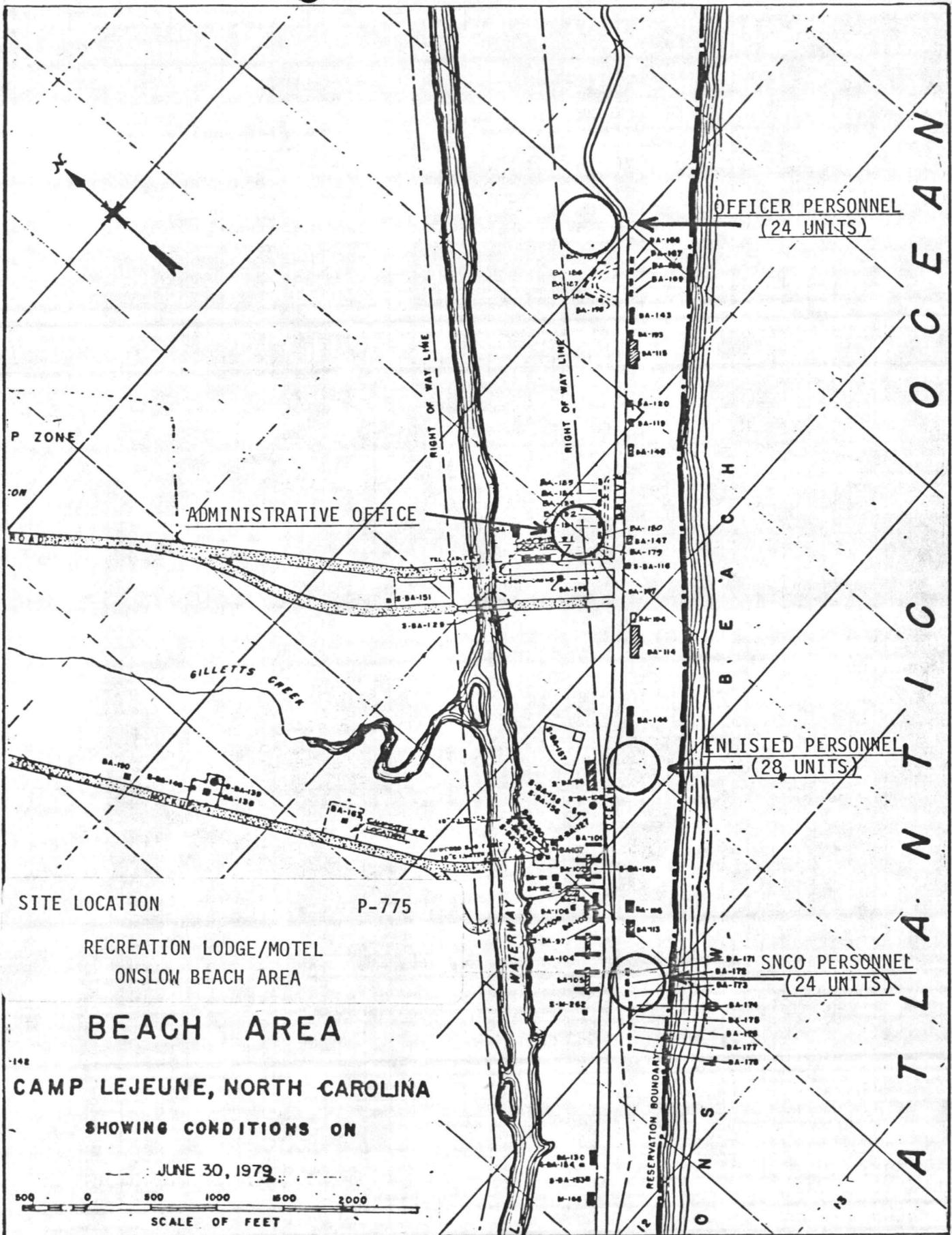
REMARKS

APPROVING OFFICIAL (Typed name and signature)

DATE

HQMC REVIEW AND ANALYSIS





OFFICER PERSONNEL
(24 UNITS)

ADMINISTRATIVE OFFICE

ENLISTED PERSONNEL
(28 UNITS)

SNCO PERSONNEL
(24 UNITS)

SITE LOCATION P-775

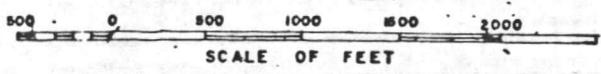
RECREATION LODGE/MOTEL
ON SLOW BEACH AREA

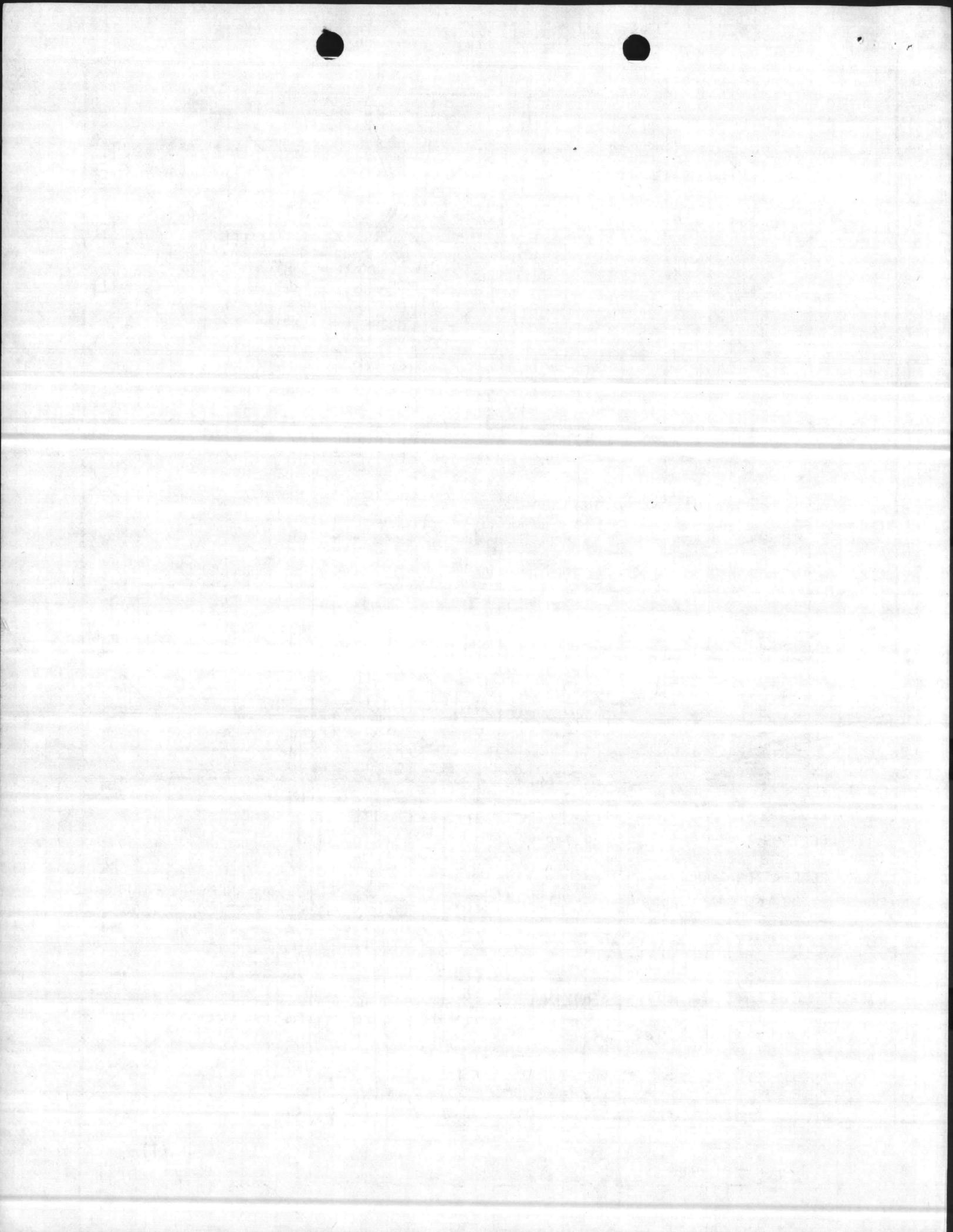
BEACH AREA

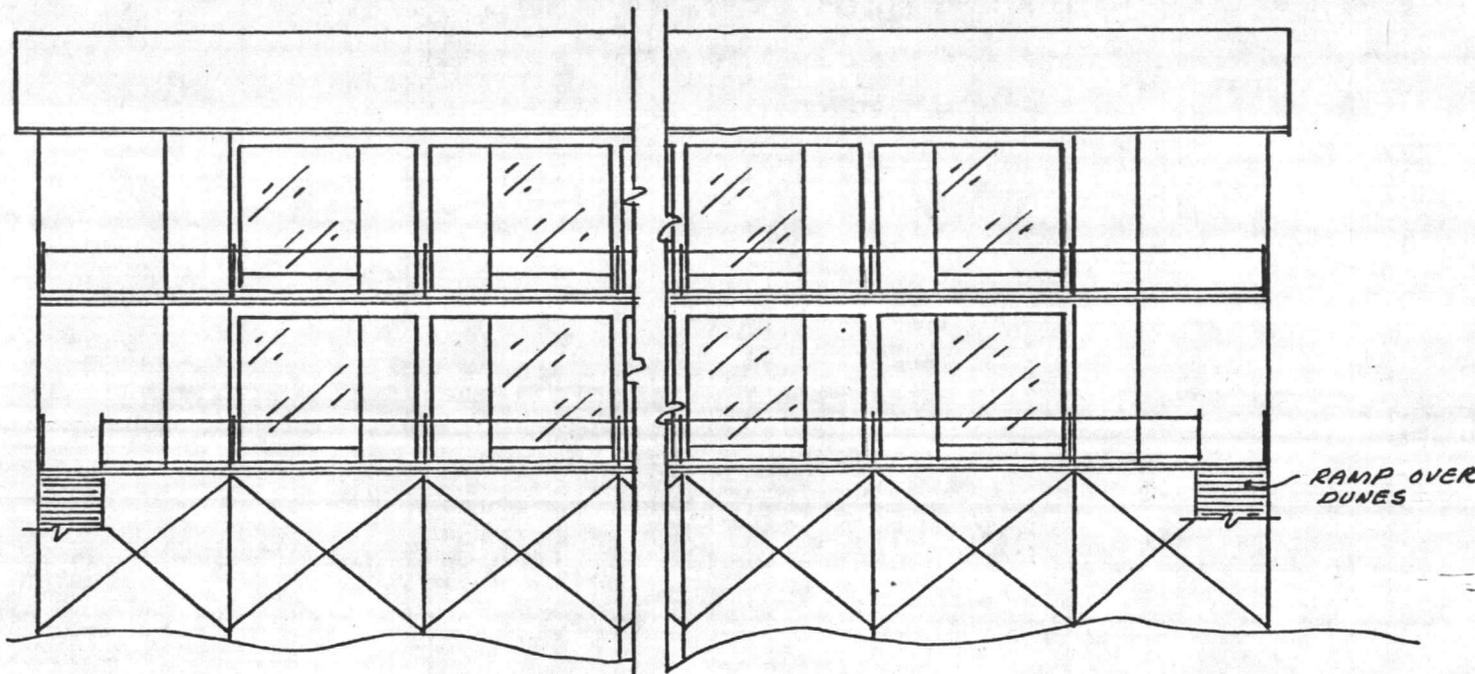
CAMP LEJEUNE, NORTH CAROLINA

SHOWING CONDITIONS ON

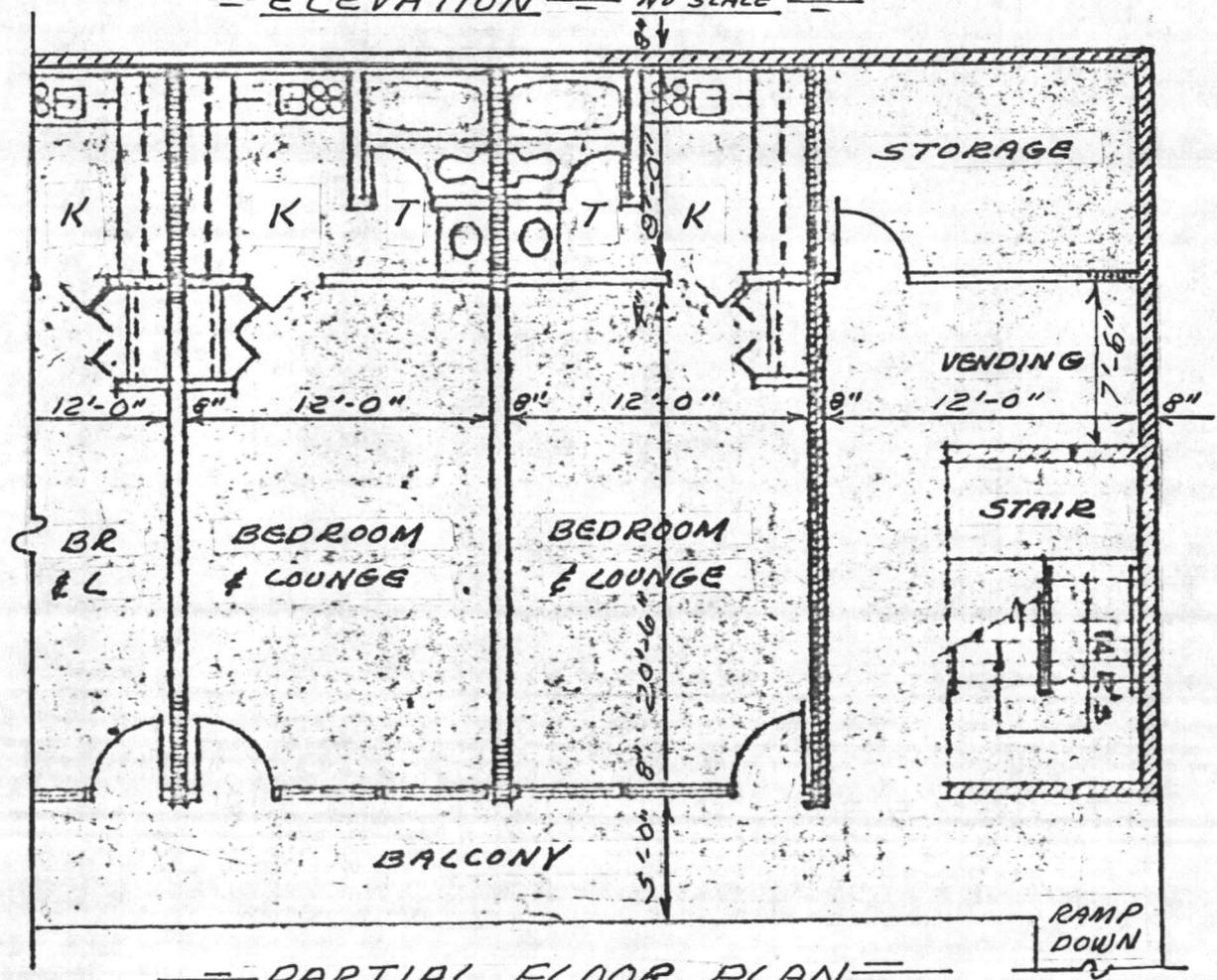
JUNE 30, 1979





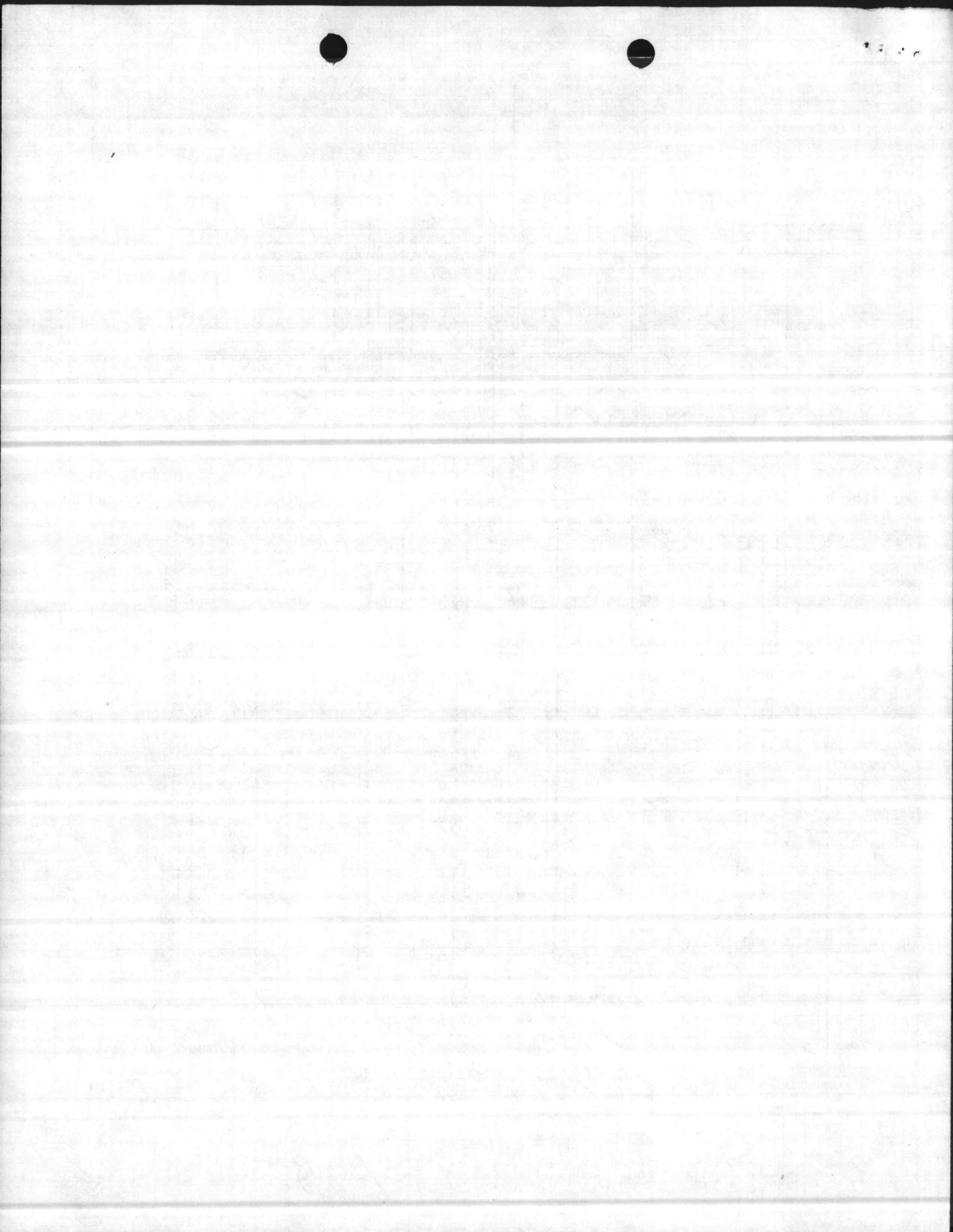


— ELEVATION — NO SCALE —



— PARTIAL FLOOR PLAN —
SCALE: 1/8" = 1'-0"

P-775
RECREATION LODGE / MOTEL



1. COMPONENT NAVY	FY 1983 MILITARY CONSTRUCTION PROJECT DATA Non-Appropriated Fund - Special Service	2. DATE 19 Mar 1981
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3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542	4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, ONSLow BEACH AREA
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5. PROGRAM ELEMENT	6. CATEGORY CODE 740-81	7. PROJECT NUMBER P-775	8. PROJECT COST (\$000) 3,040
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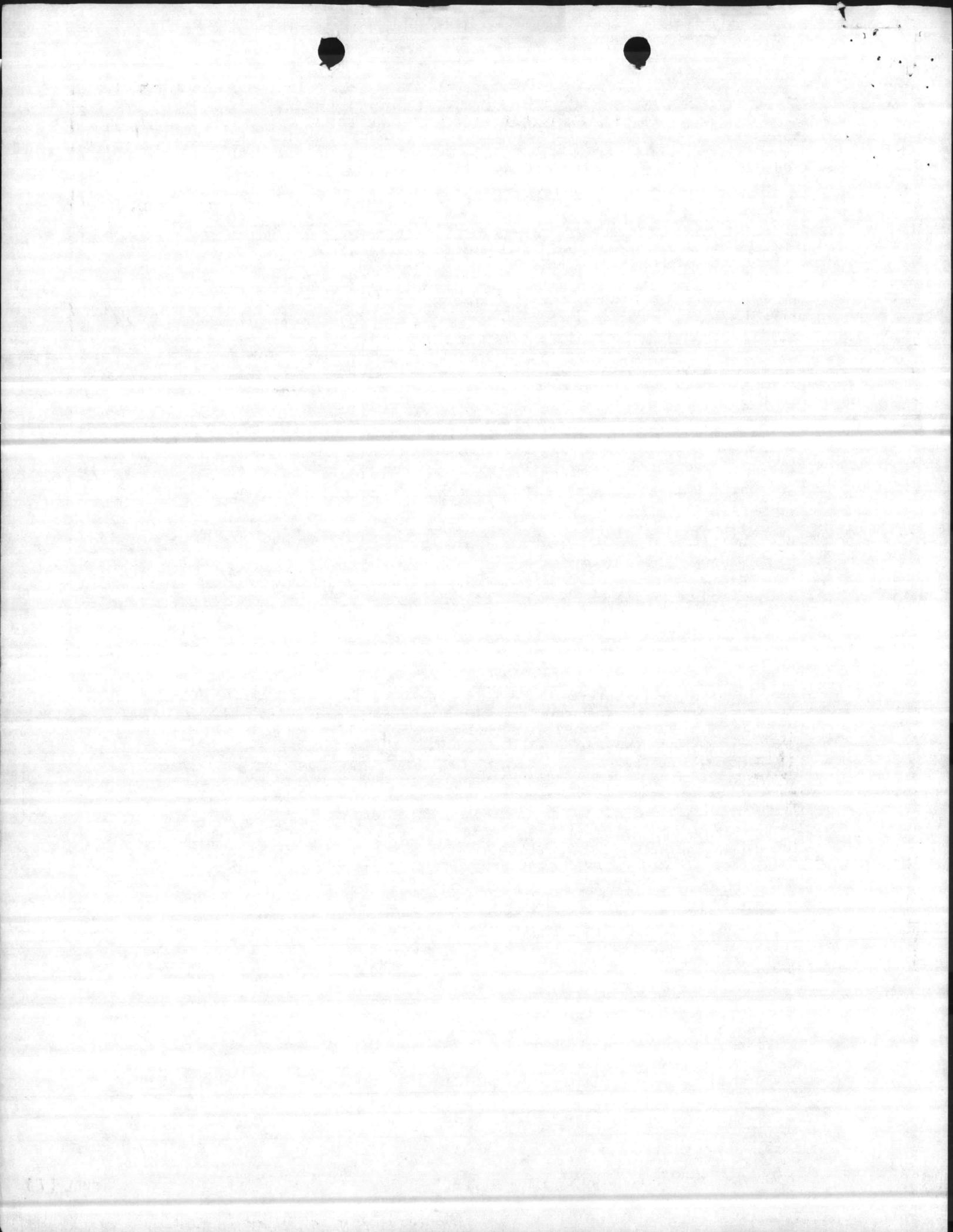
9. COST ESTIMATES				
ITEM	U/M	QUANTITY	UNIT COST	COST (\$000)
RECREATIONAL LODGE/MOTEL <i>60 units</i>	-	34,056	51.00	2,309
BUILDING	SF			(1,737)
BUILT-IN EQUIPMENT	LS			(520)
SOLAR HOT WATER SYSTEM	LS			(52)
SUPPORTING FACILITIES				295
SPECIAL CONSTRUCTION FEATURES	LS			(53)
UTILITIES	LS			(121)
PAVEMENTS, FLEXIBLE AND RIGID	LS			(86)
SITE IMPROVEMENTS	LS			(35)
SUBTOTAL				2,604
CONTINGENCY - 5%				130
TOTAL CONTRACT COST				2,734
SUPERVISION, INSPECTION AND OVERHEAD (5.5%)				150
TOTAL REQUEST				2,884
EQUIPMENT PROVIDED FROM OTHER APPROPRIATIONS	-	-	-	-
A&E SERVICE (6%)				156
PROJECT COST				3,040

10. DESCRIPTION OF PROPOSED CONSTRUCTION
 Modular 2-story reinforced concrete frame building, masonry walls, pile foundation, bedroom units with bathroom, kitchenette and lounge area. Administration, storage and utility space, interior and exterior utilities, rigid and flexible pavements, site improvements and demolition.

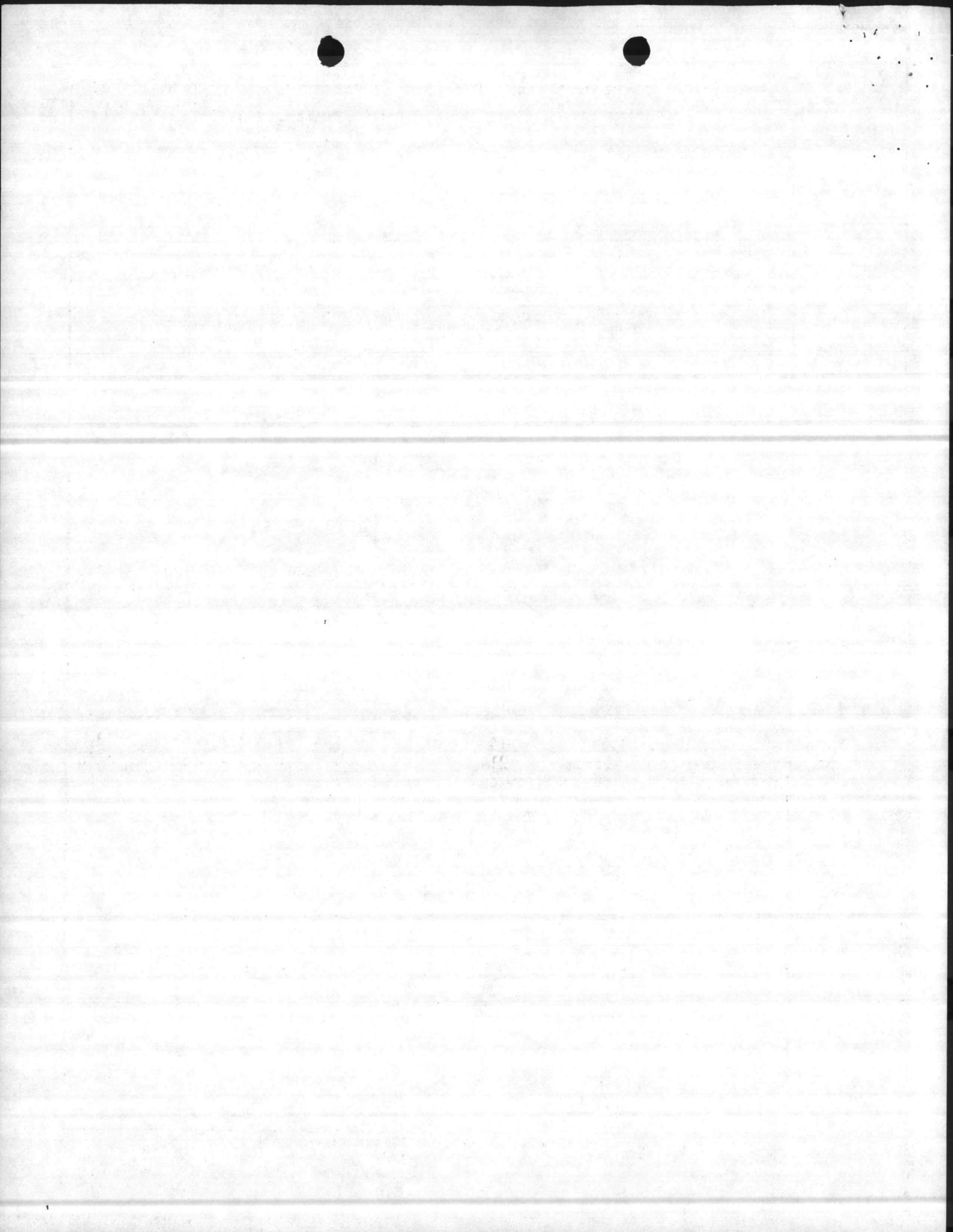
11. REQUIREMENTS: 66,640 SF, Adequate: 0 SF; Substandard: 32,584 SF

PROJECT: Provide a multi-unit recreational lodge/motel on Onslow Beach.
 REQUIREMENTS: A facility is needed to replace 23 mobile home trailers and other substandard facilities being utilized as recreational lodges.
 CURRENT SITUATION: The mobile home trailers are deteriorated and rusted out and the other facilities are in need of repair.
 IMPACT IF NOT PROVIDED: Military and retired personnel and their dependents will be compelled to continue utilizing substandard facilities resulting in continued low morale.

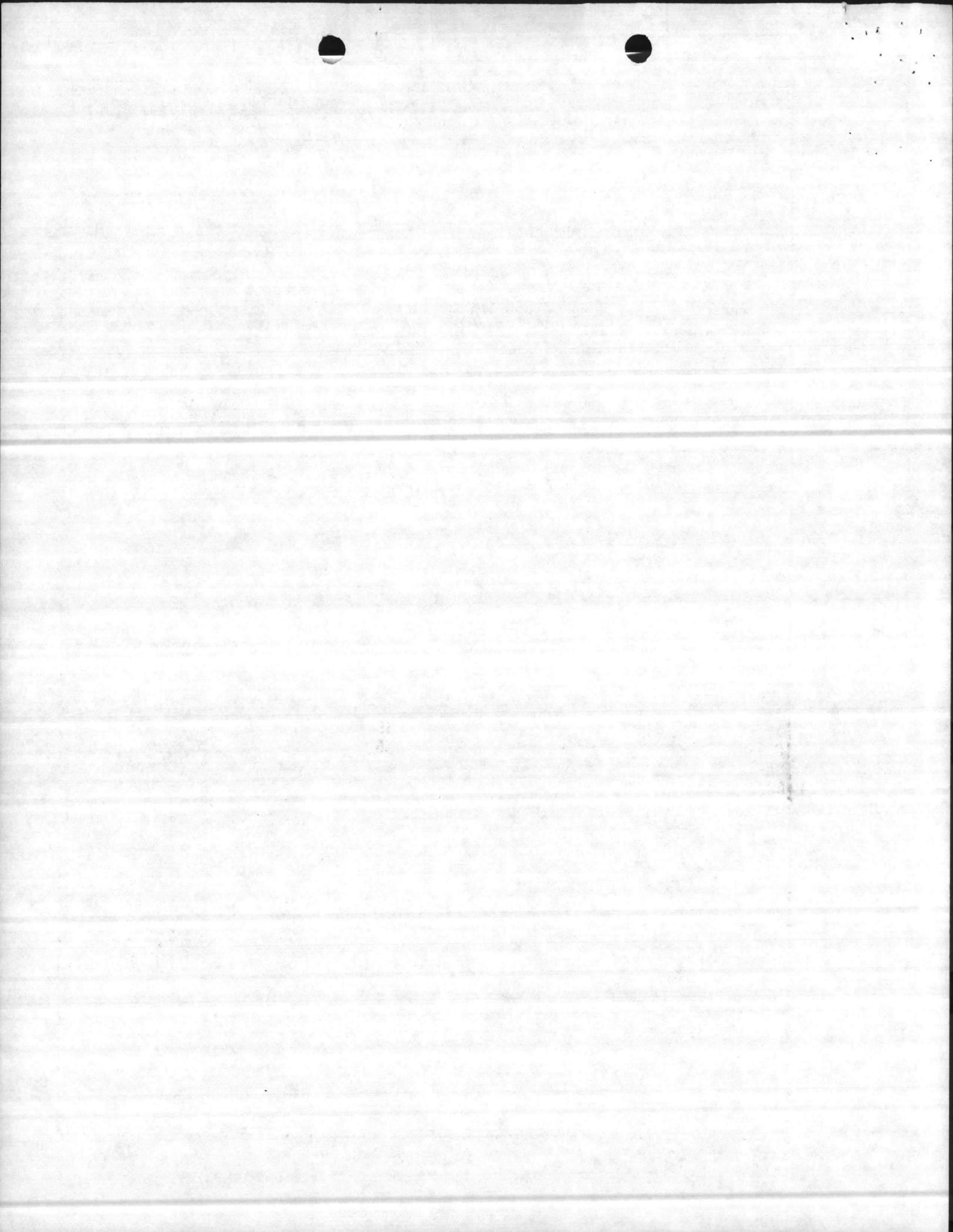
*Plonca
 ltr to Jones & Mark Jones SS
 15th Jun 1981*



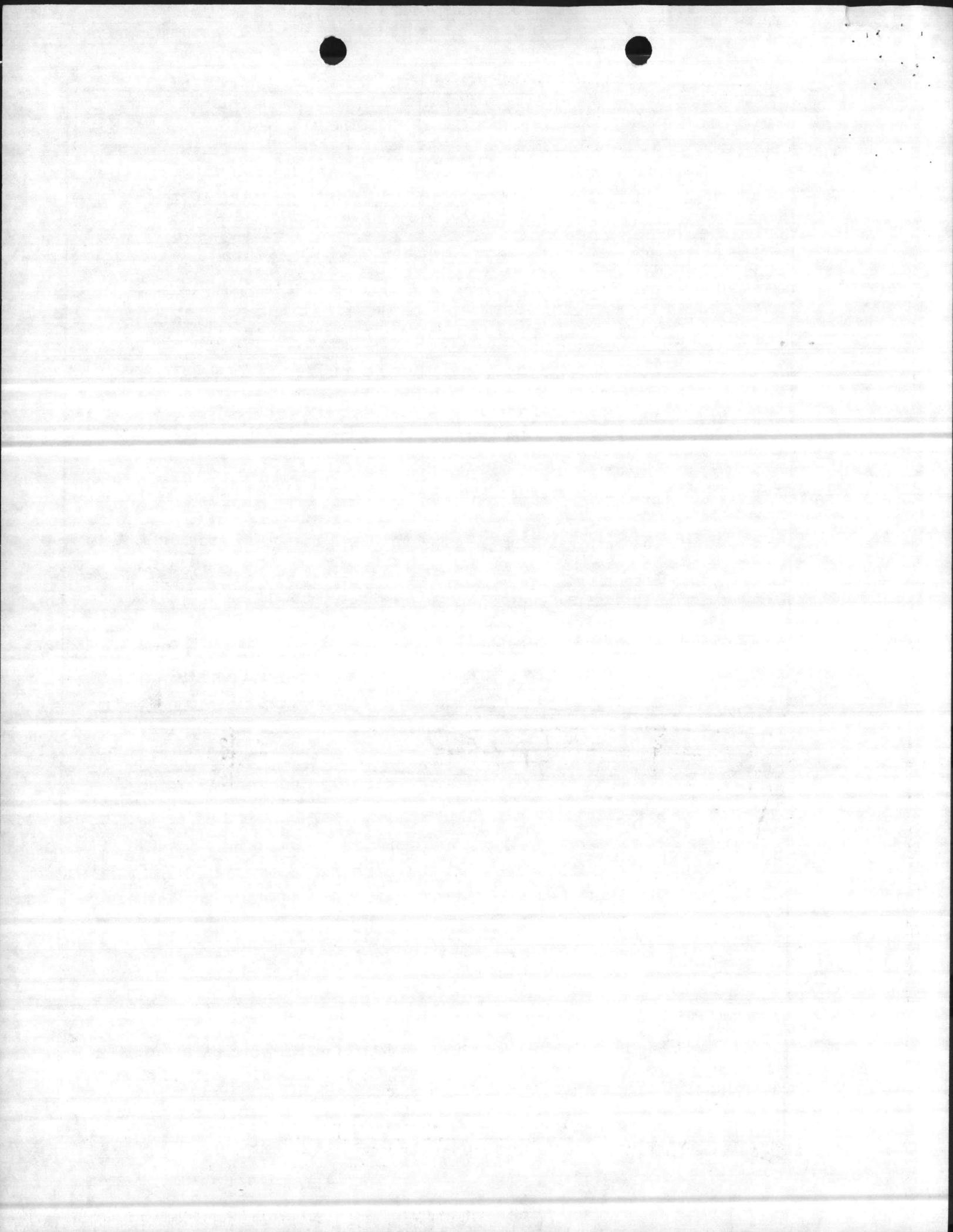
1. COMPONENT NAVY	FY 19 <u>83</u> MILITARY CONSTRUCTION PROJECT DATA	2. DATE 19 Mar 81
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL GNSLOW BEACH AREA		5. PROJECT NUMBER P-775
<p style="text-align: center;"><u>SPECIAL CONSIDERATIONS</u></p> <ol style="list-style-type: none"> 1. <u>Pollution Prevention, Abatement, and Control:</u> This project will not cause additional air or water pollution. 2. <u>Flood Hazard Evaluation:</u> Requirements of Executive Order No. 11296 (Flood Hazards) are not applicable. 3. <u>Environmental Impact:</u> The project Environmental Impact Assessment has been made, reviewed, and where required, the design concepts give consideration to eliminating adverse environmental effects consistent with applicable directives. 4. <u>Fallout Shelter Construction:</u> Fallout shelter protection is incorporated in the facility. 5. <u>Design for Accessibility of Physically Handicapped Personnel:</u> Provisions for physically handicapped personnel are required in this facility. 6. <u>Use of Air Conditioning:</u> Ceiling "U" factors will be made to conform with DOD 4270.1-M. 7. <u>Preservation of Historical Sites and Structures:</u> The project facility does not directly or indirectly affect a district, site, building, structure, object, or setting which is listed in the National Register or otherwise possesses a significant quality of American history. 		



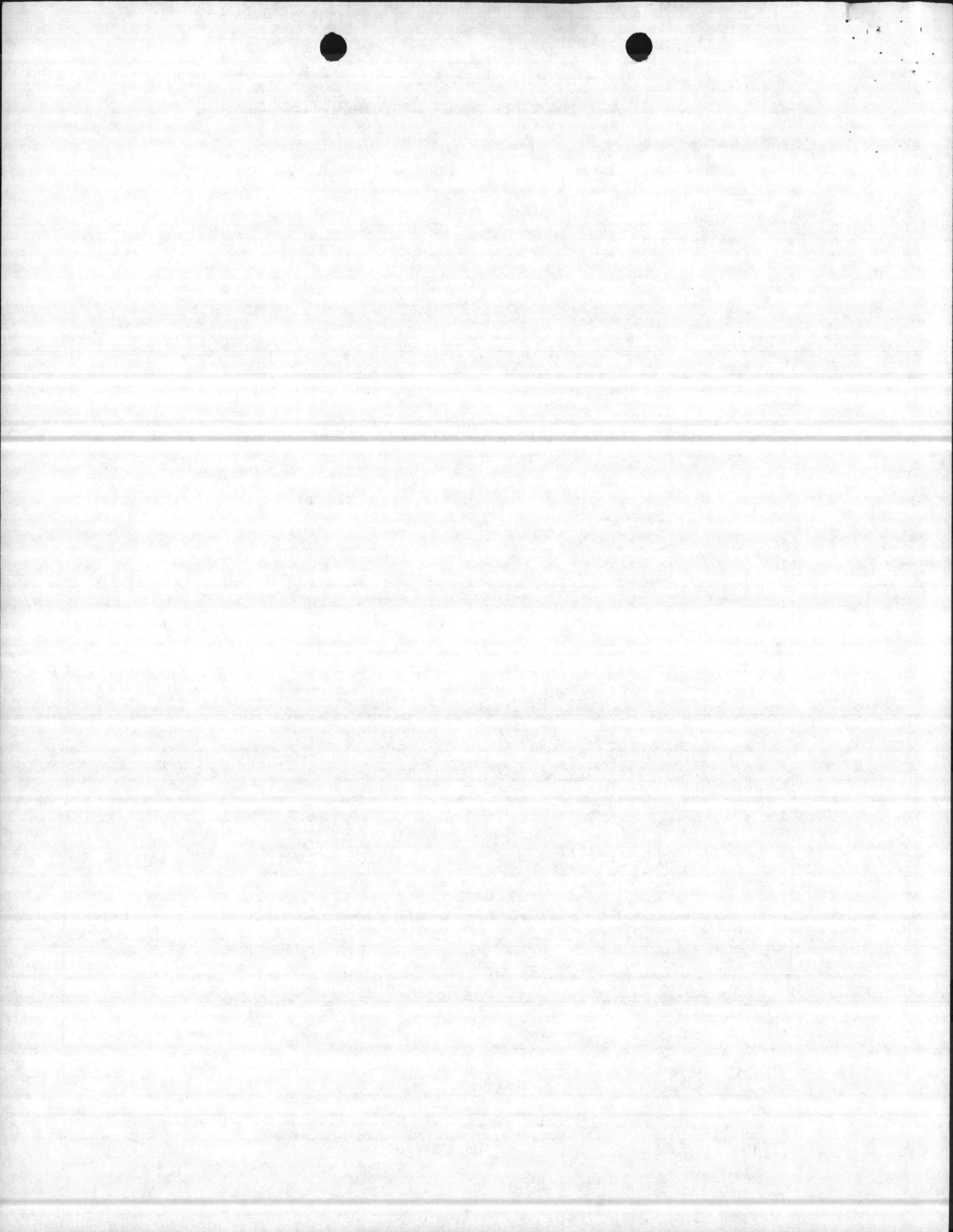
1. COMPONENT NAVY	FY 19 ⁸³ MILITARY CONSTRUCTION PROJECT DATA	2. DATE 19 Mar 81
3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL ON SLOW BEACH AREA	5. PROJECT NUMBER P-775	
<u>FACILITY STUDY</u>		
1. <u>PROJECT</u> : Provide a 34,056 SF, multi-unit recreational lodge/motel complete with administrative, vending and mechanical equipment space, interior/exterior utilities, special construction features, pavements and site improvements.		
2. <u>CURRENT AND PLANNED FUTURE WORKLOAD WITH REGARDS TO THIS PROJECT</u> : The facility will be utilized 24 hours daily, seven days a week and the duration of need is indefinite. The proposed units will accommodate military, retired personnel and dependents.		
3. <u>DESCRIPTION OF PROPOSED CONSTRUCTION</u> :		
a. <u>Type of Construction</u> :		
(1) Permanent two-story reinforced masonry frame building, masonry walls, concrete floors with carpet, pile foundation, built-up roof, insulation, interior utilities and appliances.		
(2) Rigid and flexible walks and parking pavements, lighting, exterior utilities, site improvement, etc.		
b. <u>Replacements</u> : This project will replace Trailers #5 (BA-189), #6 (BA-188), #7 (BA-187), #8 (BA-186), #9 (BA-185), #10 (BA-184), #11 (BA-183), #12 (BA-182), #13 (BA-181), #14 (BA-180), #15 (BA-179), #17 (BA-172), #19 (BA-174), #20 (BA-175), and #21 (BA-176). The trailers were put on site in 1972 and 1973 and are in poor condition, deteriorated and rusted out.		
c. <u>Description of Work to be Done</u> :		
(1) <u>Primary Facility</u> : Modular reinforced concrete/masonry structure on pile foundation.		
(a) <u>Support Facilities</u> : Rigid and flexible pavements, lighting, utilities and site improvement.		
(2) <u>Energy Conservation</u> : Energy efficient equipment and building orientation for maximum energy conservation will be used.		
(3) <u>Collateral Equipment</u> :		
(a) <u>Built-in: Project Funded</u> :		



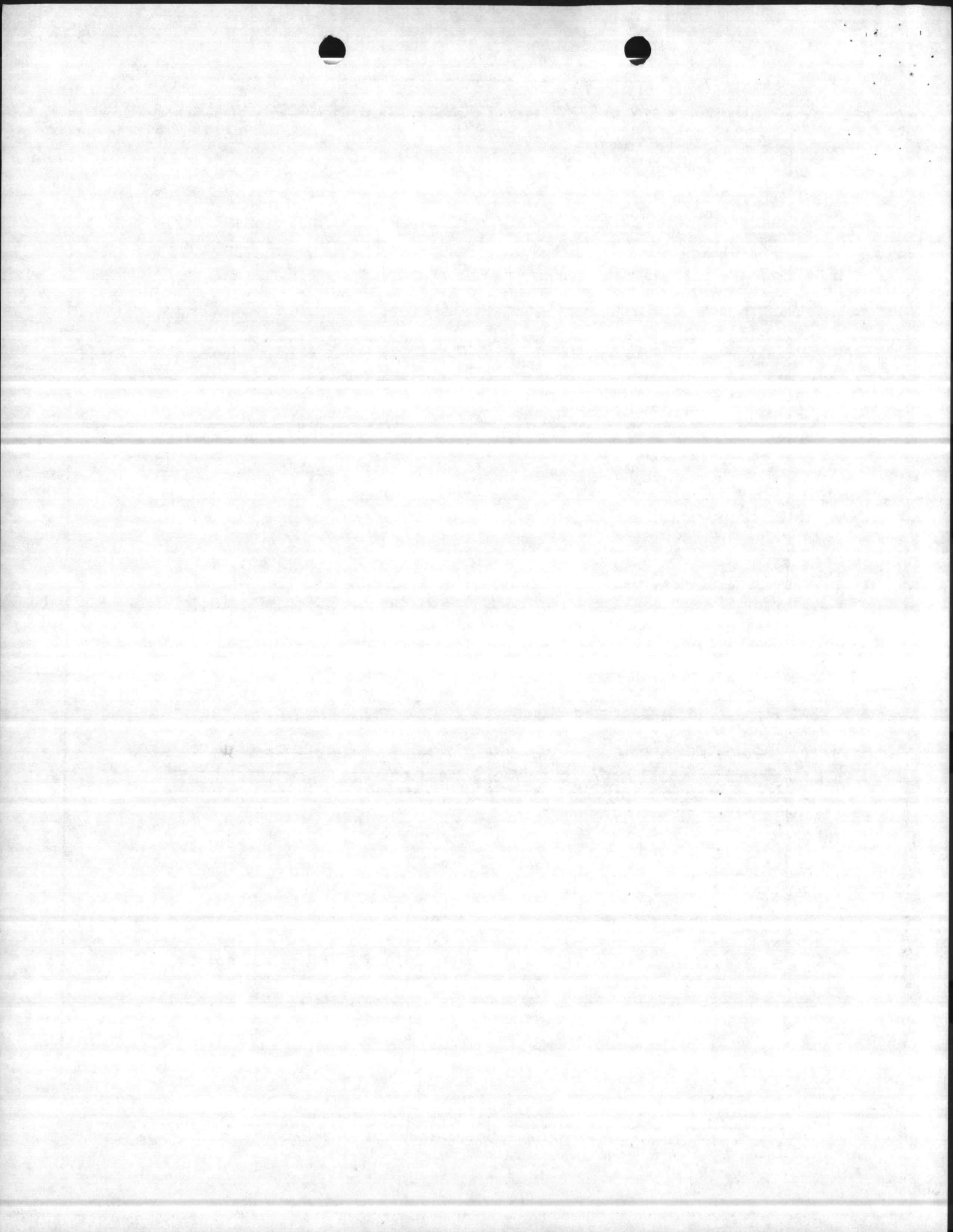
1. COMPONENT NAVY	FY 1983 MILITARY CONSTRUCTION PROJECT DATA	2. DATE 19 Mar 81			
3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542					
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL ON SLOW BEACH AREA		5. PROJECT NUMBER P-775			
<p>Air conditioning, heating and ventilating systems.</p> <p>Plumbing and steam system (interior).</p> <p>Telephone, fire alarm, sprinkler, TV and intercom systems.</p> <p>Drinking water coolers, metal frames with windows and window screens.</p> <p>Kitchenette, counter top with stove, sink and refrigerator (built-in).</p>					
(b) <u>Expense Item:</u> To be purchased using NAF appropriations.					
(4) <u>Supporting Facilities:</u> Special piling, foundation, solar hot water system, collateral equipment, site improvement, pollution abatement, etc. The following trailers will be demolished and/or removed from the construction site area.					
<u>BLDG NO.</u>	<u>CONSTR.</u>	<u>TYPE CONSTR.</u>	<u>SF</u>	<u>COND.</u>	<u>USE</u>
BA-172	1973	T	552	SS	Rec Lodge
BA-174	1973	T	552	SS	Rec Lodge
BA-175	1973	T	552	SS	Rec Lodge
BA-176	1973	T	552	SS	Rec Lodge
BA-179	1972	T	648	SS	Rec Lodge
BA-180	1972	T	648	SS	Rec Lodge
BA-181	1972	T	648	SS	Rec Lodge
BA-182	1972	T	648	SS	Rec Lodge
BA-183	1972	T	648	SS	Rec Lodge
BA-184	1972	T	648	SS	Rec Lodge
BA-185	1972	T	648	SS	Rec Lodge
BA-186	1972	T	648	SS	Rec Lodge
BA-187	1972	T	720	SS	Rec Lodge
BA-188	1972	T	720	SS	Rec Lodge
BA-189	1972	T	720	SS	Rec Lodge
4. <u>COST ESTIMATE:</u> Area cost factor for Camp Lejeune, NC, is 0.95. Cost data derived from the Military Construction Cost Review Guide, FY-82 (DOD 4270.1-CG), and escalated to FY-83 to provide for this proposed facility.					
5. <u>JUSTIFICATION FOR PROJECT AND FOR SCOPE OF PROJECT:</u>					



1. COMPONENT NAVY	FY 19 83 MILITARY CONSTRUCTION PROJECT DATA	2. DATE 19 Mar 81
3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL ONslow BEACH AREA	5. PROJECT NUMBER P-775	
<p>a. <u>Justification for Project:</u></p> <p>(1) <u>Project:</u> Proposed facility is required to provide an adequate recreational lodge/motel to replace house trailers which have deteriorated beyond economical repair.</p> <p>(2) <u>Current Situation:</u> Personnel are staying in substandard house trailer facilities which are totally inadequate for recreational needs.</p> <p>(3) <u>Impact if Not Provided:</u> Personnel will continue to utilize substandard and makeshift facilities, resulting in low morale from spending vacation time in the deteriorated recreational facilities (trailers).</p> <p>b. <u>Justification for Scope of Project:</u> The project scope (34,056) is the minimum size facility that can meet the deficiency requirement for the recreational lodge/motel needs of the Base. (See item 13.)</p> <p>6. <u>EQUIPMENT PROVIDED FROM OTHER APPROPRIATIONS:</u> Not applicable.</p> <p>7. <u>COMMON SUPPORT FACILITIES:</u> Not applicable.</p> <p>8. <u>EFFECT ON OTHER RESOURCES:</u> The project will require approximately \$8,497 per year in increased O&MMC funds for increased utility services and operations. No additional personnel will be required to operate this facility. The project will enhance and improve the morale of personnel presently using existing substandard facilities. Proposed construction should be responsive to the challenges presented by the energy situation and comply with the requirements of Executive Order 12003 of 20 July 1977 and implemented by NAVFACINST 4100.5A.</p>		
<u>UTILITY REQUIREMENTS</u>		
a. Electricity	Consumption Peak Demand Average Demand	83,819 KWHR/yr 52 KW 48 KW
b. Steam	Consumption Demand	3,759,752 Lbs/Yr 1,346 Lbs/Hr
c. Coal	146.8 Tons/Yr	
d. Adequate utility requirements are available.		
9. <u>SITING OF THE PROJECT:</u> This facility will be located in the Onslow		



1. COMPONENT NAVY		FY 1983 MILITARY CONSTRUCTION PROJECT DATA		2. DATE 19 Mar 1981	
3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542					
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL ONslow BEACH AREA				5. PROJECT NUMBER P-775	
10. <u>OTHER GRAPHIC PRESENTATIONS, INCLUDING PHOTOGRAPHS:</u> None.					
11. <u>ECONOMIC ANALYSIS:</u> This facility is being constructed on an undeveloped site adjacent to a developed area. Economic savings will be in nominal energy consumption savings to be realized from efficient operations. This is a non-appropriated fund project in support of providing adequate recreational facilities for personnel morale and recreation.					
12. <u>ENVIRONMENTAL IMPACT ASSESSMENT:</u> An environmental impact assessment of the area has been made and it has been determined that this project will have neither a significant impact on the environment nor is it highly controversial.					
13. <u>QUANTITATIVE DATA:</u>					
a. <u>BFRL Requirements:</u> Basewide miscellaneous is 66,640 SF. NAVFAC P-80 provides for space authorized based on number of personnel using facility and limitation on occupancy of the recreation area determined by its physical and recreational characteristics. There are no definitive drawings given in NAVFAC P-272 for Category Code 740-81.					
b. <u>Existing Facilities:</u>					
<u>BLDG NO.</u>	<u>AREA SF</u>	<u>COND CODE</u>	<u>REMARKS</u>		
BA-172	552	Inad *	To be demolished (Trailer House)		
BA-174	552	Inad *	To be demolished (Trailer House)		
BA-175	552	Inad *	To be demolished (Trailer House)		
BA-176	552	Inad *	To be demolished (Trailer House)		
BA-179	648	Inad *	To be demolished (Trailer House)		
BA-180	648	Inad *	To be demolished (Trailer House)		
BA-181	648	Inad *	To be demolished (Trailer House)		
BA-182	648	Inad *	To be demolished (Trailer House)		
BA-183	648	Inad *	To be demolished (Trailer House)		
BA-184	648	Inad *	To be demolished (Trailer House)		
BA-185	648	Inad *	To be demolished (Trailer House)		
BA-186	648	Inad *	To be demolished (Trailer House)		
BA-187	720	Inad *	To be demolished (Trailer House)		
BA-188	720	Inad *	To be demolished (Trailer House)		
BA-189	720	Inad *	To be demolished (Trailer House)		
	10,200	Inadequate *			
BA-114	19,324	SS *	To be upgraded with local NAF funds		
BA-116	1,500	SS *	To be upgraded with local NAF funds		
BA-120	1,200	SS *	To be upgraded with local NAF funds		



1. COMPONENT NAVY	FY 19 83 MILITARY CONSTRUCTION PROJECT DATA	2. DATE 19 Mar 1981
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3. INSTALLATION AND LOCATION
MARINE CORPS BASE
CAMP LEJEUNE, NORTH CAROLINA 28542

4. PROJECT TITLE RECREATIONAL LODGE/MOTEL ON SLOW BEACH AREA	5. PROJECT NUMBER P-775
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BLDG NO.	AREA (SF)	COND CODE	REMARKS
BA-143	1,536	SS *	To be upgraded with local NAF funds
BA-144	3,152	SS *	To be upgraded with local NAF funds
BA-146	1,232	SS *	To be upgraded with local NAF funds
BA-147	772	SS *	To be upgraded with local NAF funds
SBA-142	3,740	SS *	To be upgraded with local NAF funds
32,584 Substandard *			

* Facility is reflected as adequate in NAVFAC 10651 dated ~~31 October 1980~~ **27 JAN 1982** which is a misnomer and will be corrected on next document update.

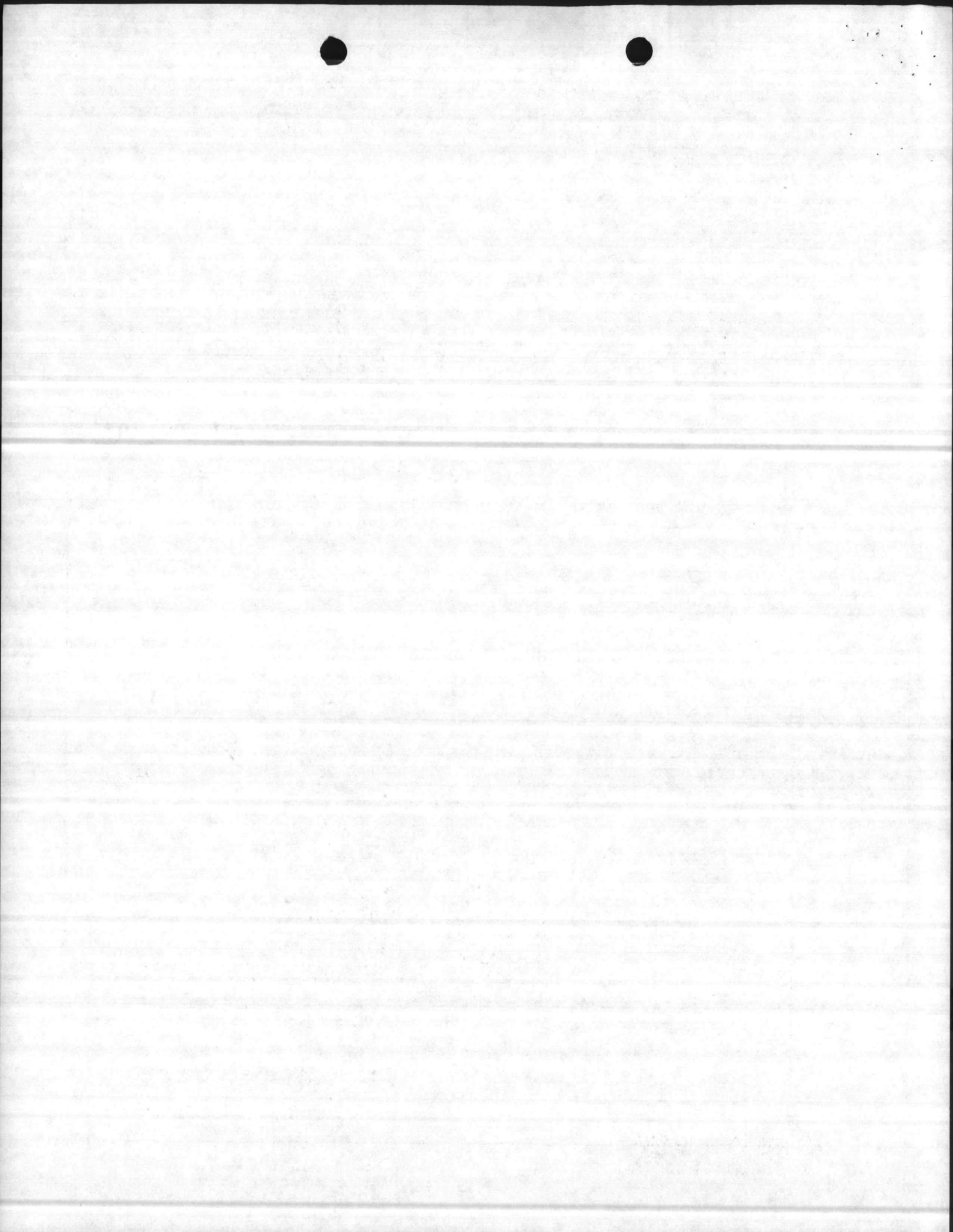
c. Planned Facilities:

<u>Project No.</u>	<u>Area SF</u>
P-775	34,056

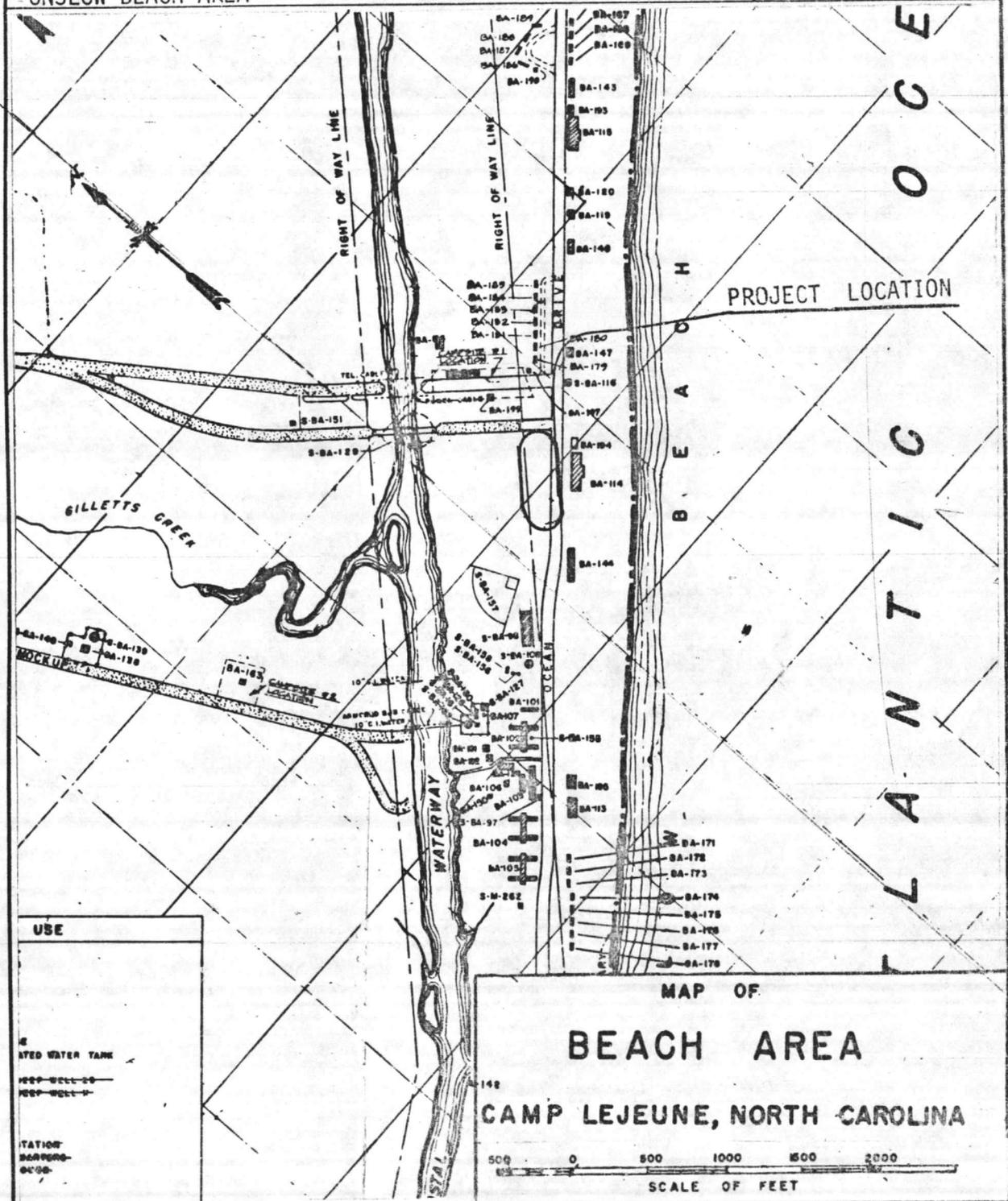
d. Summary:

Existing Adequate Facilities:	0
Planned Facilities:	34,056
Total Planned & Existing:	34,056
BFRL Total:	66,640

14. FUNDING: Funding will be from the Non-Appropriated Fund, Central Construction Fund, HQMC.



1. COMPONENT NAVY	FY 19 83 MILITARY CONSTRUCTION PROJECT DATA	2. DATE 19 MARCH 1981
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, N.C. 28542		5. PROJECT NUMBER P-775
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL ON SLOW BEACH AREA		



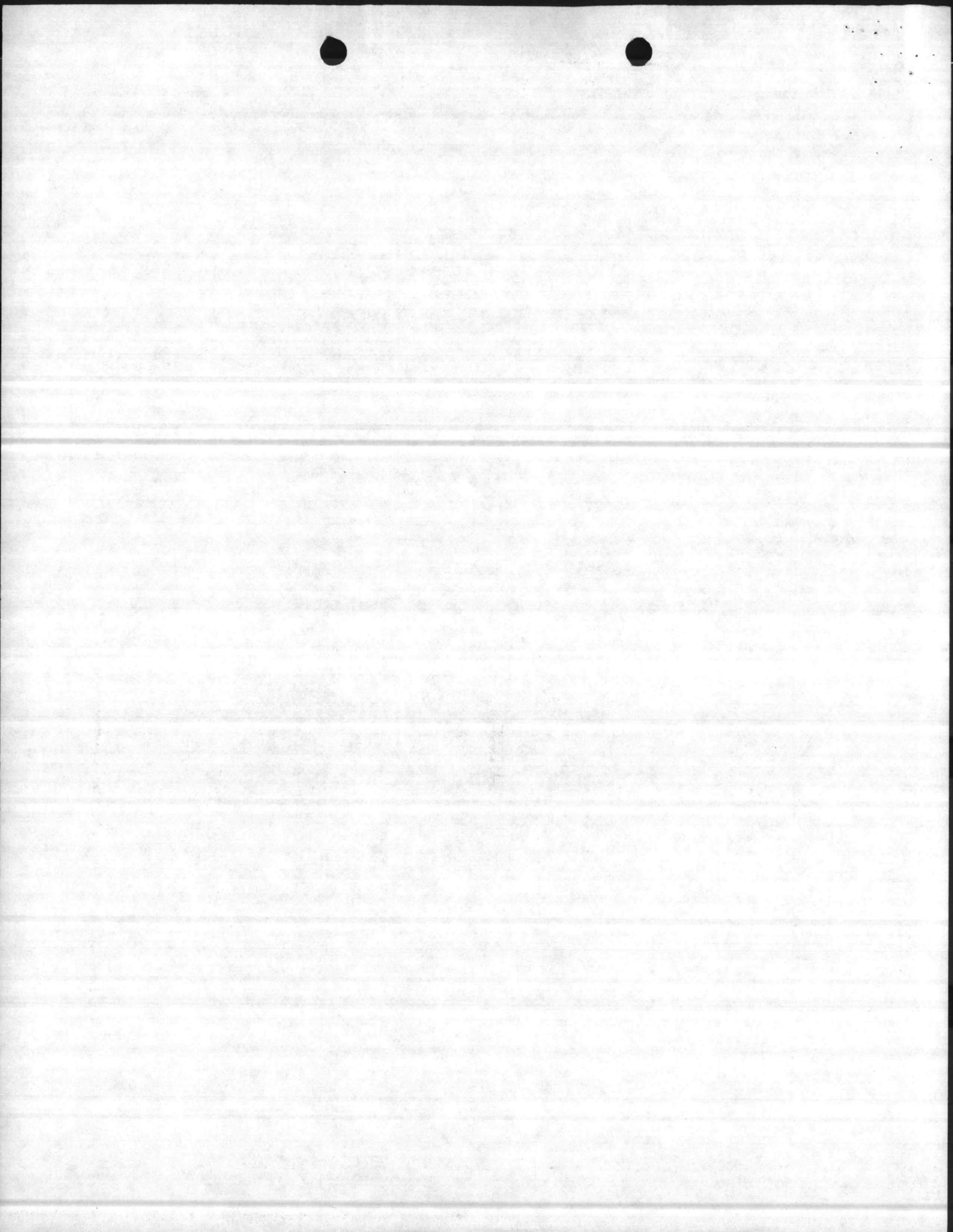
USE

1/2" = 100' WATER TANK
 1/4" = 50' WELL
 1/8" = 25' WELL

STATION
 MARKING
 1/4" = 100'

MAP OF
BEACH AREA
CAMP LEJEUNE, NORTH CAROLINA

500 0 500 1000 1500 2000
SCALE OF FEET



1. COMPONENT
 NAVY

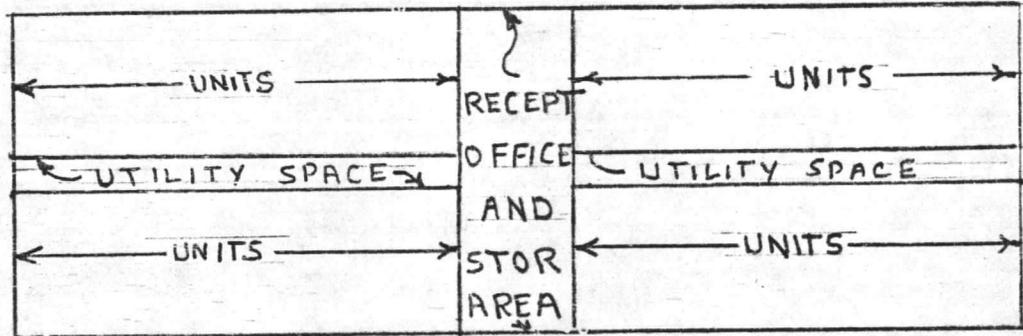
FY 1983 MILITARY CONSTRUCTION PROJECT DATA

2. DATE
 19 Mar 1981

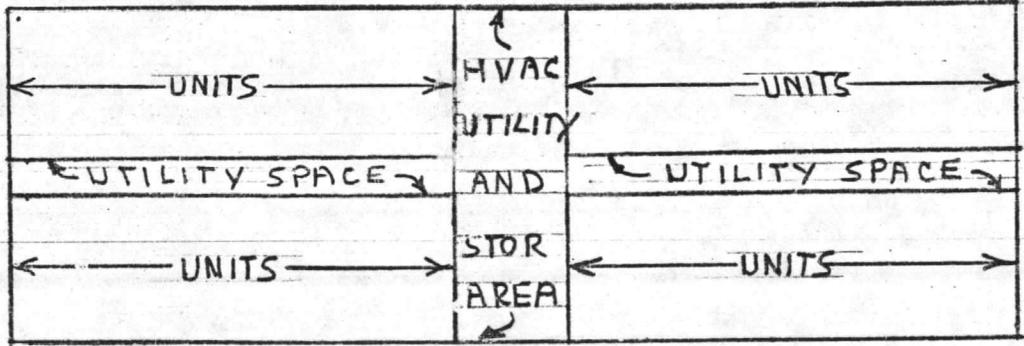
3. INSTALLATION AND LOCATION
 MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542

4. PROJECT TITLE
 RECREATIONAL LODGE/MOTEL
 ONSLOW BEACH AREA

5. PROJECT NUMBER
 P-775

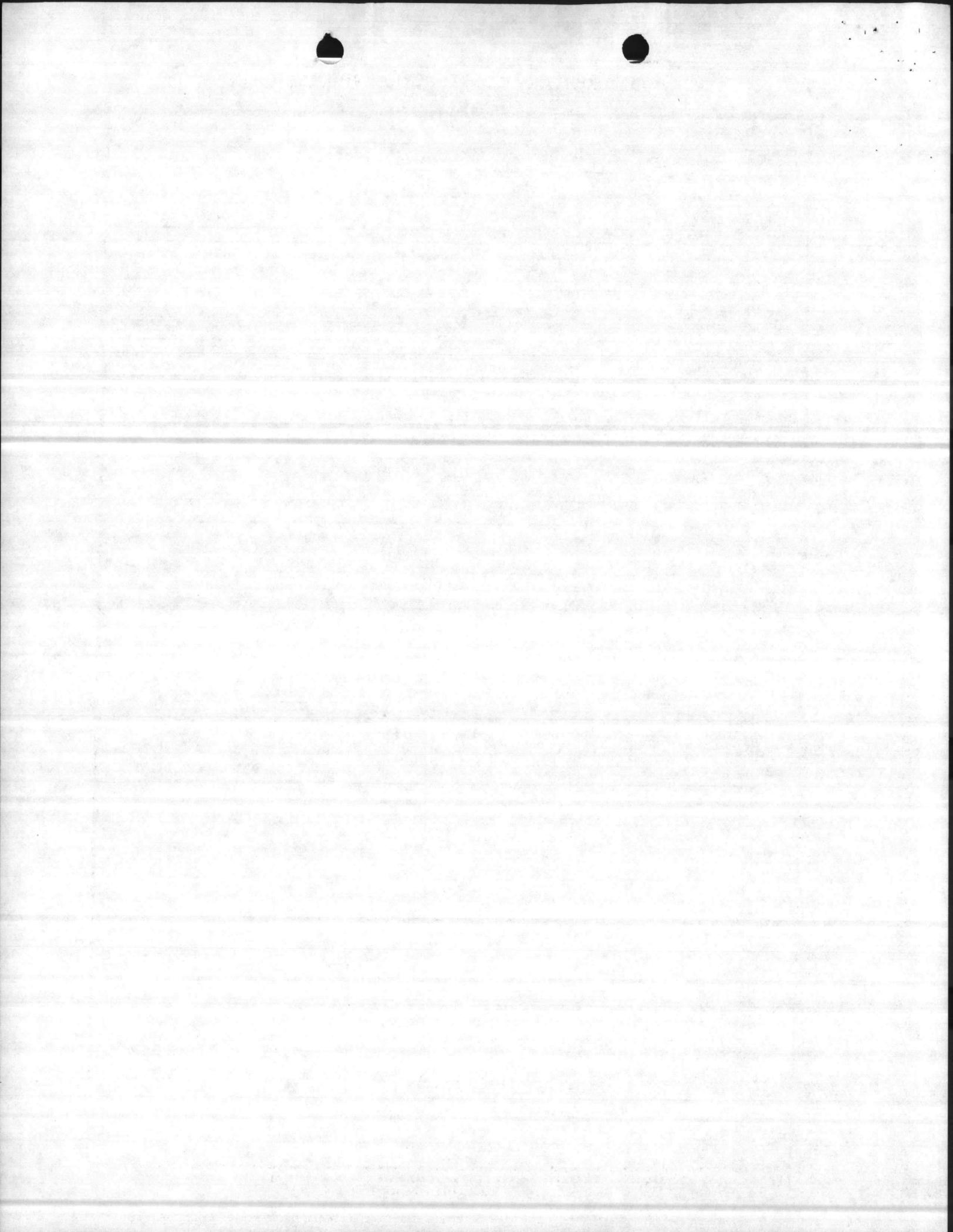


FIRST FLOOR
 NO SCALE



SECOND FLOOR
 NO SCALE

MOTEL/LODGE FLOOR PLAN

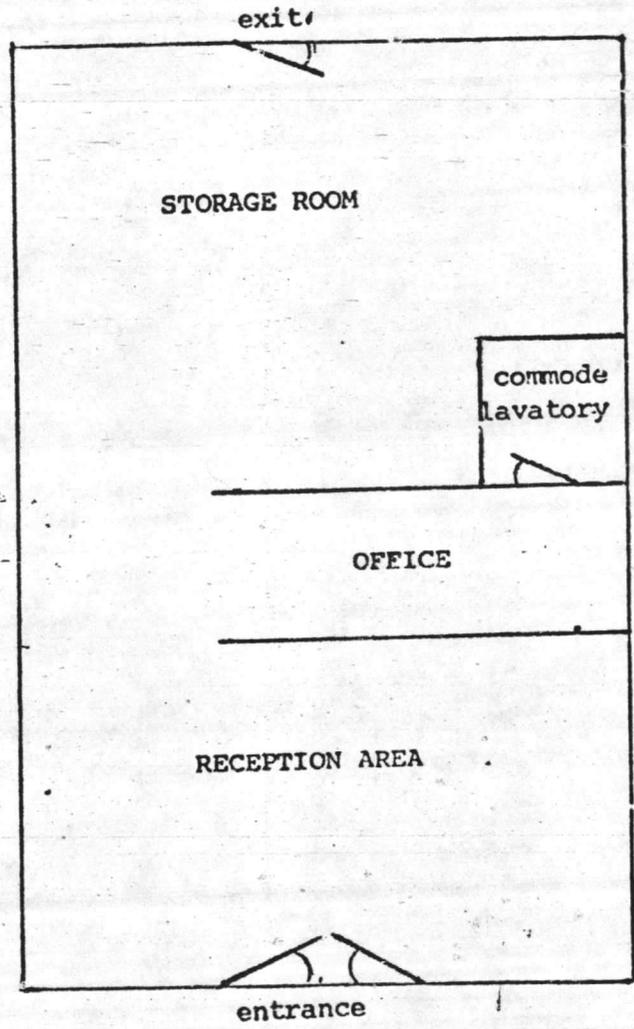


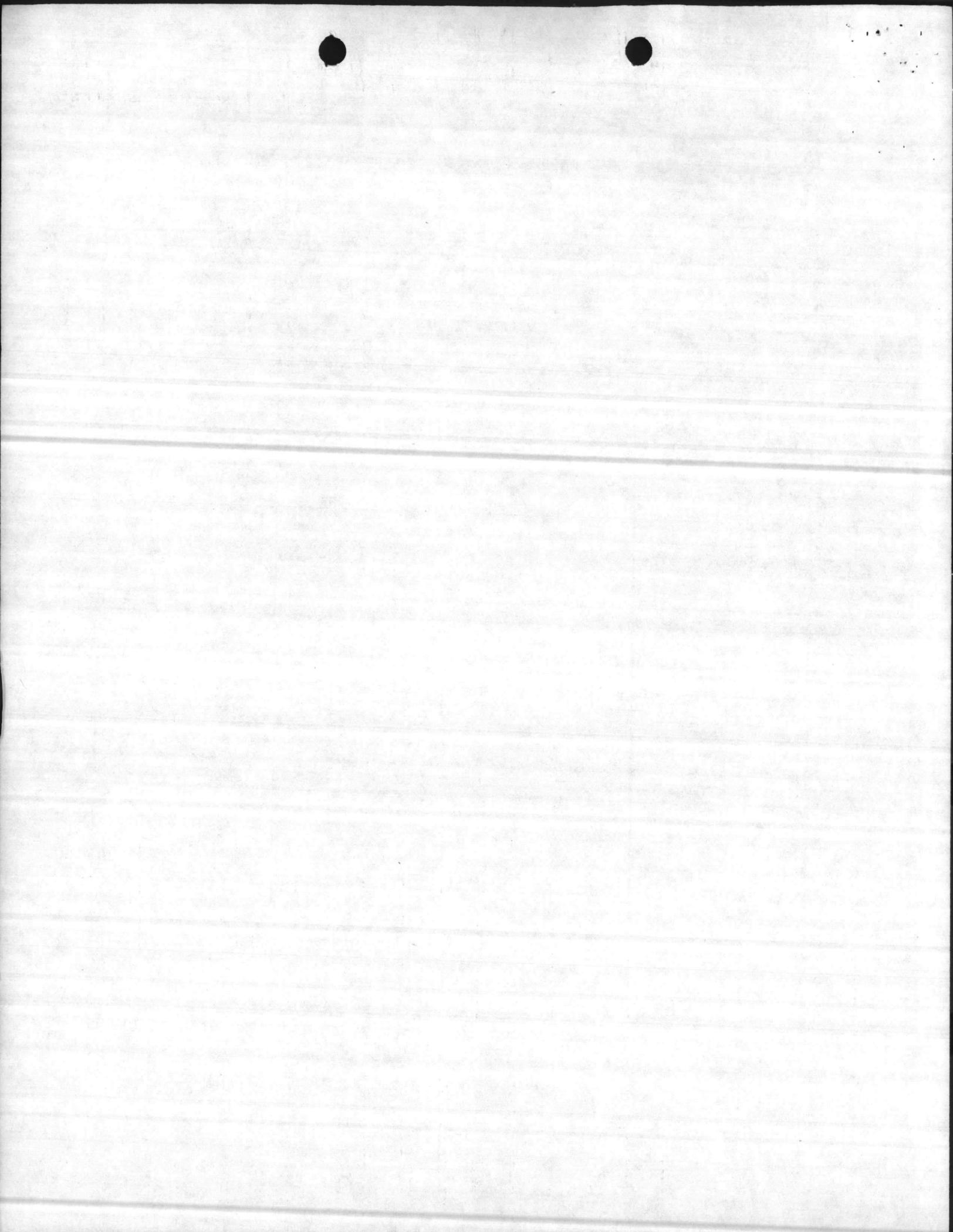
1. COMPONENT **NAVY** | **FY 1983 MILITARY CONSTRUCTION PROJECT DATA** | 2. DATE **19 Mar 1981**

3. INSTALLATION AND LOCATION
MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542

4. PROJECT TITLE **RECREATIONAL LODGE/MOTEL
ONSLOW BEACH AREA** | 5. PROJECT NUMBER **P-775**

RECEPTION/OFFICE UNIT BEACH MOTEL





COST ESTIMATE

DATE PREPARED
 3-19-81

SHEET 1 OF 2

ACTIVITY AND LOCATION

Marine Corps Base, Camp Lejeune, NC

CONSTRUCTION CONTRACT NO.

IDENTIFICATION NUMBER

P-775

ESTIMATED BY

D. D. Weaver

CATEGORY CODE NUMBER

740-81

PROJECT TITLE

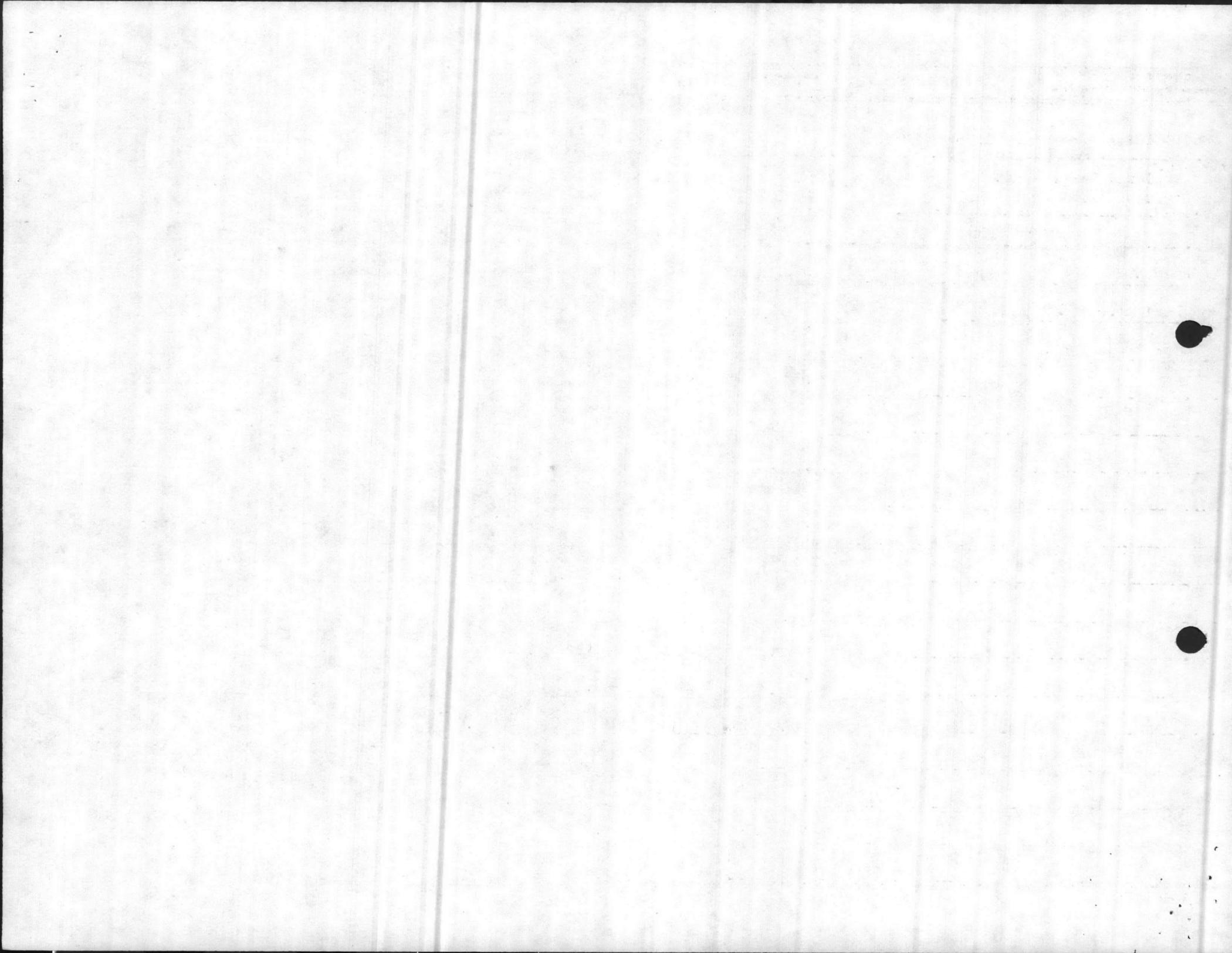
Recreational Lodge/Motel
 Onslow Beach Area

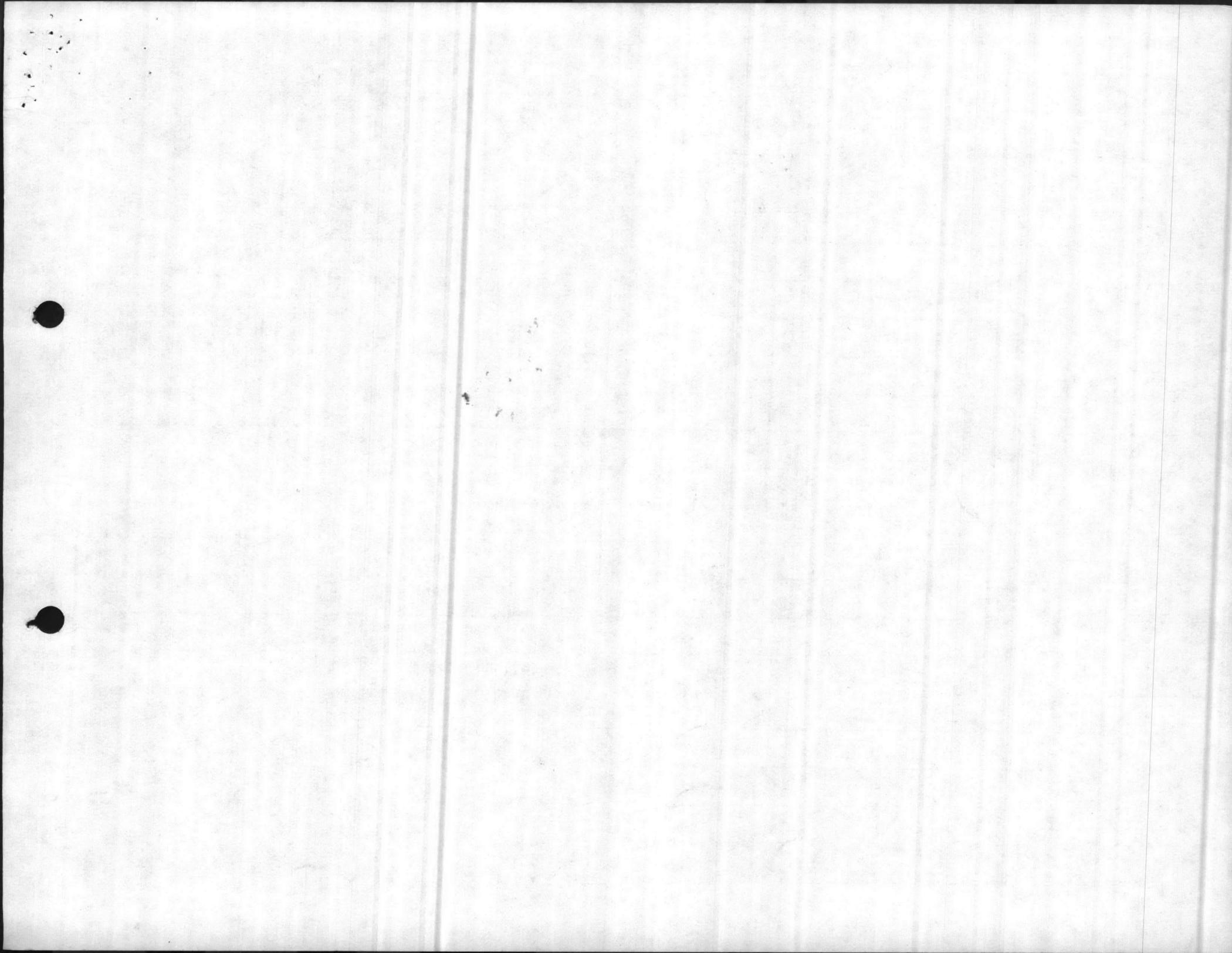
STATUS OF DESIGN

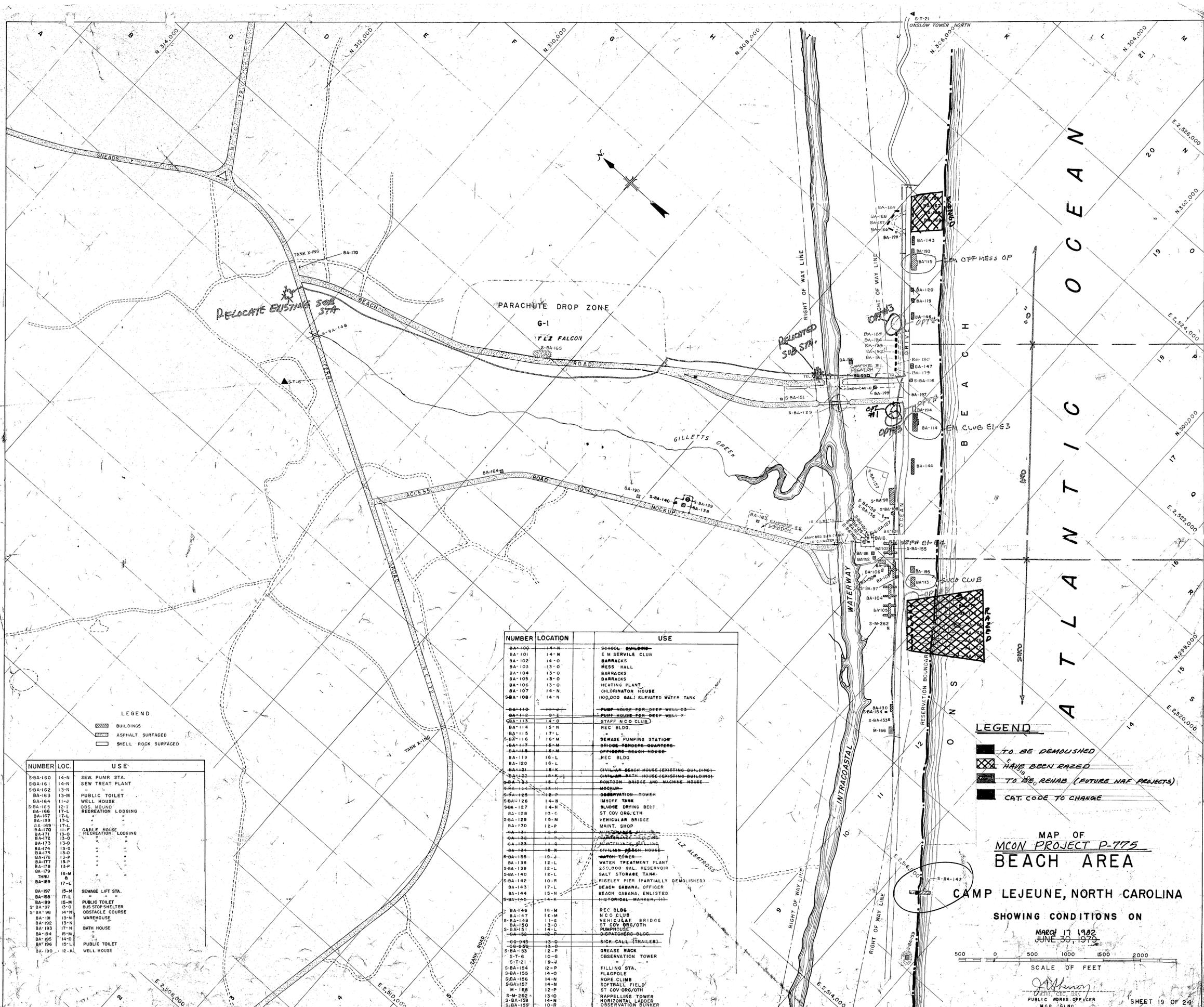
PED 30% 100% FINAL Other (Specify) _____

JOB ORDER NUMBER

ITEM DESCRIPTION	QUANTITY		MATERIAL COST		LABOR COST		ENGINEERING ESTIMATE	
	NUMBER	UNIT	UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL
Recreational Lodge/Motel								
Building	34,056	SF					36.43	1,240,700
Built-in Equipment	1	LS						371,400
Solar Hot Water System	1	LS						37,200
Subtotal								1,649,300
Supporting Facilities								
Special Construction Features								37,800
Utilities								86,400
Pavements, Flexible and Rigid								61,500
Site Improvements								25,000
Subtotal								210,700
Project Subtotal								1,860,000
Overhead, Payroll Taxes, Ins., S.S. Profit 40%								744,000
Subtotal								2,604,000
Contingency 5%								130,000
Total Contract Cost								2,734,000
S.I.O.H. 5.5%								150,000







LEGEND
 [Hatched Box] BUILDINGS
 [Dashed Box] ASPHALT SURFACED
 [Solid Box] SHELL ROCK SURFACED

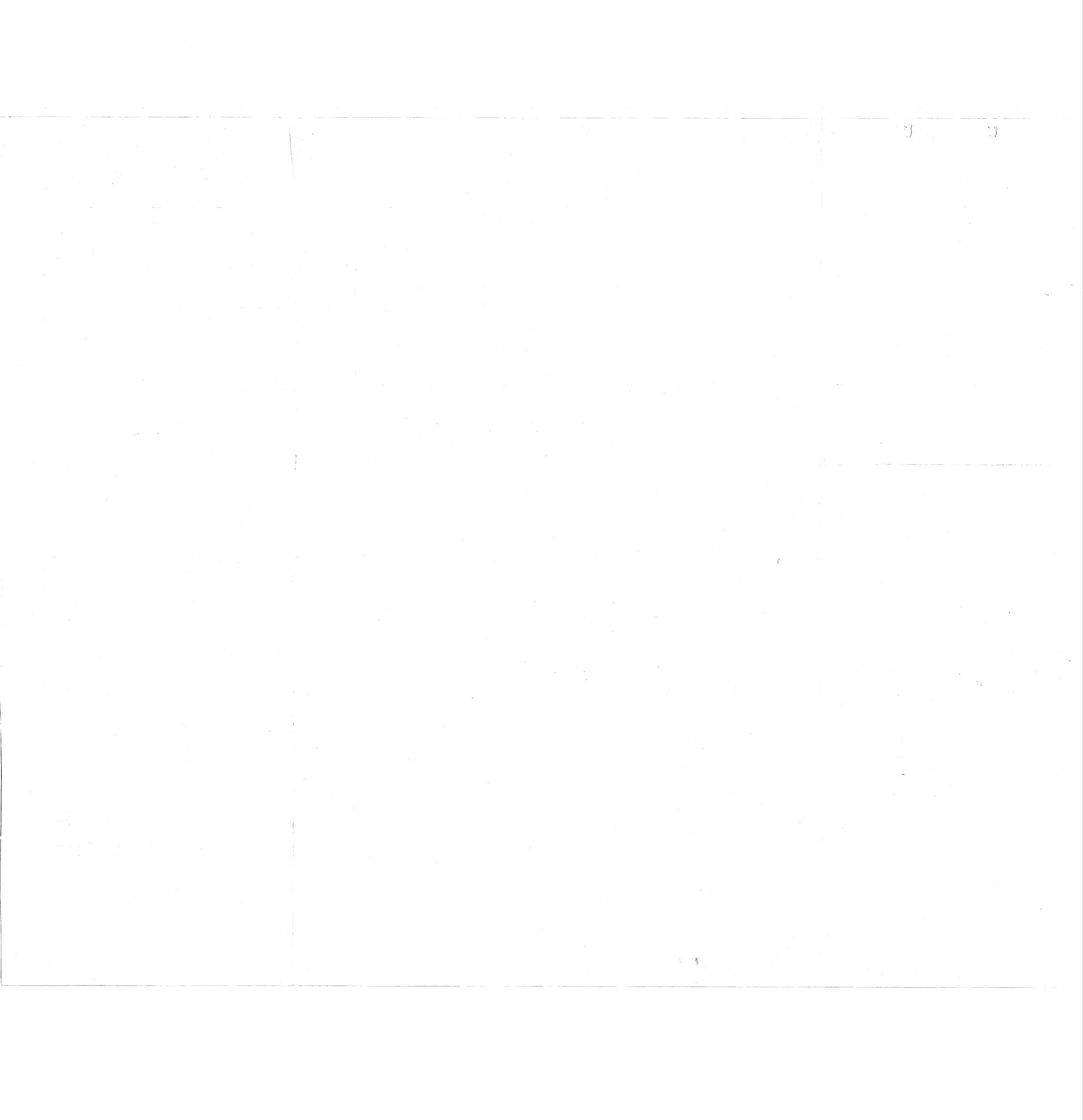
NUMBER	LOC.	USE
S-BA-160	14-N	SEW. PUMP. STA.
S-BA-161	14-N	SEW TREAT PLANT
S-BA-162	13-N	"
BA-163	13-M	PUBLIC TOILET
BA-164	11-J	WELL HOUSE
S-BA-165	12-I	DBS. MOUND
BA-166	17-L	RECREATION LODGING
BA-167	17-L	"
BA-168	17-L	"
BA-169	17-L	"
BA-170	11-P	CABLE HOUSE
BA-171	13-O	RECREATION LODGING
BA-172	13-O	"
BA-173	13-O	"
BA-174	13-O	"
BA-175	13-P	"
BA-176	13-P	"
BA-177	13-P	"
BA-178	13-P	"
BA-179	16-M	"
THRU	"	"
BA-189	17-L	"
BA-197	15-M	SEWAGE LIFT STA.
BA-198	17-L	"
BA-199	16-M	PUBLIC TOILET
S-BA-97	13-O	BUS STOP SHELTER
S-BA-98	14-N	OBSTACLE COURSE
BA-191	13-N	WAREHOUSE
BA-192	13-N	"
BA-193	17-N	"
BA-194	15-N	"
BA-195	14-O	BATH HOUSE
BA-196	15-L	PUBLIC TOILET
BA-190	12-K	WELL HOUSE

NUMBER	LOCATION	USE
BA-100	14-N	SCHOOL BUILDING
BA-101	14-N	E-M SERVICE CLUB
BA-102	14-O	BARRACKS
BA-103	13-O	MESS HALL
BA-104	13-O	BARRACKS
BA-105	13-O	BARRACKS
BA-106	13-O	HEATING PLANT
BA-107	14-N	CHLORINATOR HOUSE
S-BA-108	14-N	(100,000 GAL) ELEVATED WATER TANK
BA-110	11-J	PUMP HOUSE FOR DEEP WELLS
BA-112	9-J	PUMP HOUSE FOR DEEP WELLS
BA-113	14-O	STAFF NCO CLUB
BA-114	15-N	REC BLDG
BA-115	17-L	SEWAGE PUMPING STATION
S-BA-116	16-M	ENGINE-ENGINEER-QUARTERS
BA-117	16-M	OFFICERS BEACH HOUSE
BA-118	16-M	REC BLDG
BA-119	16-L	"
BA-120	16-L	"
BA-121	18-K	CIVILIAN BEACH HOUSE (EXISTING BUILDING)
S-BA-122	18-K	CIVILIAN BEACH HOUSE (EXISTING BUILDING)
S-BA-123	18-L	PONTOON BRIDGE AND MACHINE HOUSE
BA-124	13-L	MOCKUP
S-BA-126	14-N	OBSERVATION TOWER
BA-127	14-N	IMHOFF TANK
BA-128	13-C	SLUDGE DRYING BED
BA-129	15-M	ST COV ORG, CTH
BA-130	12-P	VEHICLE BRIDGE
BA-131	12-P	MAINT. SHOP
BA-132	12-P	MUNICIPAL BLDG
BA-133	12-P	"
BA-134	18-K	CIVILIAN BEACH HOUSE
S-BA-135	18-J	WATER TOWER
BA-136	12-L	WATER TREATMENT PLANT
S-BA-138	12-L	200,000 GAL RESERVOIR
S-BA-140	12-L	SALT STORAGE TANK
S-BA-142	10-R	RISELEY PIER (PARTIALLY DEMOLISHED)
BA-143	17-L	BEACH CABANA, OFFICER
BA-144	15-N	BEACH CABANA, ENLISTED
S-BA-145	14-K	HISTORICAL MARKER (H)
BA-146	16-M	REC BLDG
BA-147	16-M	NCO CLUB
S-BA-148	11-G	VEHICLE BRIDGE
S-BA-150	13-O	ST COV ORG/OTH
S-BA-151	14-L	PUMPHOUSE
BA-152	16-O	ENGINEER BLDG
CG-945	13-O	SICK CALL (TRAILER)
CG-950	13-O	"
S-BA-153	10-G	GREASE RACK
S-T-6	10-G	OBSERVATION TOWER
S-T-21	19-J	"
S-BA-154	12-P	FILLING STA.
S-BA-155	14-O	FLAGPOLE
S-BA-156	14-N	ROPE CLIMB
S-BA-157	14-N	SOFTBALL FIELD
M-166	12-P	ST COV ORG/OTH
S-BA-262	13-O	RAPPELLING TOWER
S-BA-158	14-N	HORIZONTAL LADDER
S-BA-159	10-R	OBSERVATION BUNKER

LEGEND
 [Hatched Box] TO BE DEMOLISHED
 [Cross-hatched Box] HAVE BEEN RAZED
 [Dotted Box] TO BE REHAB (FUTURE NAF PROJECTS)
 [Solid Box] CAT CODE TO CHANGE

MAP OF
MCON PROJECT P-775
BEACH AREA
 CAMP LEJEUNE, NORTH CAROLINA
 SHOWING CONDITIONS ON
 MARCH 17 1982
 JUNE 30, 1979
 SCALE OF FEET
 0 500 1000 1500 2000

FOR OFFICIAL USE ONLY
 NAVAC DWG. NO. 4080348
 CAMP LEJEUNE, N.C.
 SHEET 19 OF 24
 PUBLIC WORKS OFFICER
 MCB CLNC



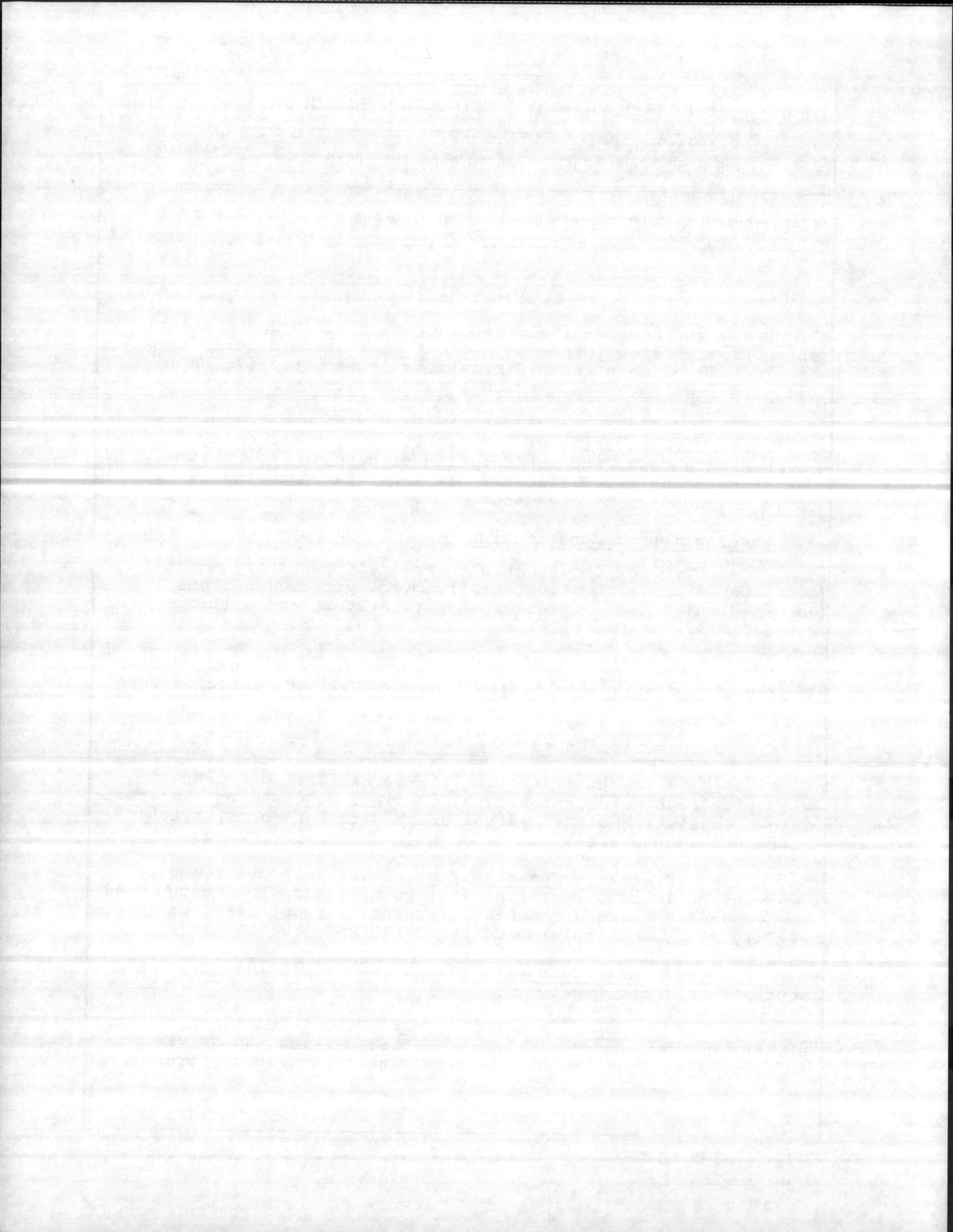
1. COMPONENT MARINE CORPS	NAF CONSTRUCTION PROGRAM FY 19 ⁹⁰ MILITARY CONSTRUCTION PROJECT DATA	2. DATE 12 May 1986
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, (INCREMENT I) ONSLOW BEACH		5. PROJECT NUMBER P-775
<p>and transients. This project is the first of a planned three increment Recreational Lodge/Motel. Future subsequent increments will provide a 32 unit addition and a 24 unit addition.</p> <p>CURRENT SITUATION: The mobile home trailers being utilized as recreational lodges are deteriorated and in need of replacement. These units are totally inadequate for recreational lodging.</p> <p>IMPACT IF NOT PROVIDED: Military and retired personnel and their dependents will be compelled to continue utilizing sub-standard facilities resulting in continued low morale.</p> <p style="text-align: center;"><u>SPECIAL CONSIDERATIONS</u></p> <ol style="list-style-type: none"> 1. <u>Pollution Prevention, Abatement, and Control:</u> This project will not cause additional air or water pollution. 2. <u>Flood Hazard Evaluation:</u> Requirements of Executive Order No. 11296 (Flood Hazards) are not applicable. 3. <u>Environmental Impact:</u> The project Environmental Impact Assessment has been made, reviewed, and where required, the design concepts give consideration to eliminating adverse environmental effects consistent with applicable directives. 4. <u>Fallout Shelter Construction:</u> Fallout shelter protection is incorporated in the facility. 5. <u>Design for Accessibility of Physically Handicapped Personnel:</u> Provisions for physically handicapped personnel are required in this facility. 6. <u>Use of Air Conditioning:</u> Ceiling "U" factors will be made to conform with DOD 4270.1-M. 7. <u>Preservation of Historical Sites and Structures:</u> The project facility does not directly or indirectly affect a district, site, building, structure, object, or setting which is listed in the National Register or otherwise possesses a significant quality of American history. 		

and transient. This project is the first of a planned increase in recreational lodging. Future subsequent increments will provide a 32 unit addition and a 24 unit addition. CURRENT SITUATION: The mobile home trailers being utilized as recreational lodges are deteriorated and in need of replacement. These units are totally inadequate for recreational lodging. IMPACT IF NOT PROVIDED: Military and retired personnel and their dependents will be compelled to continue utilizing substandard facilities causing a significant low morale.

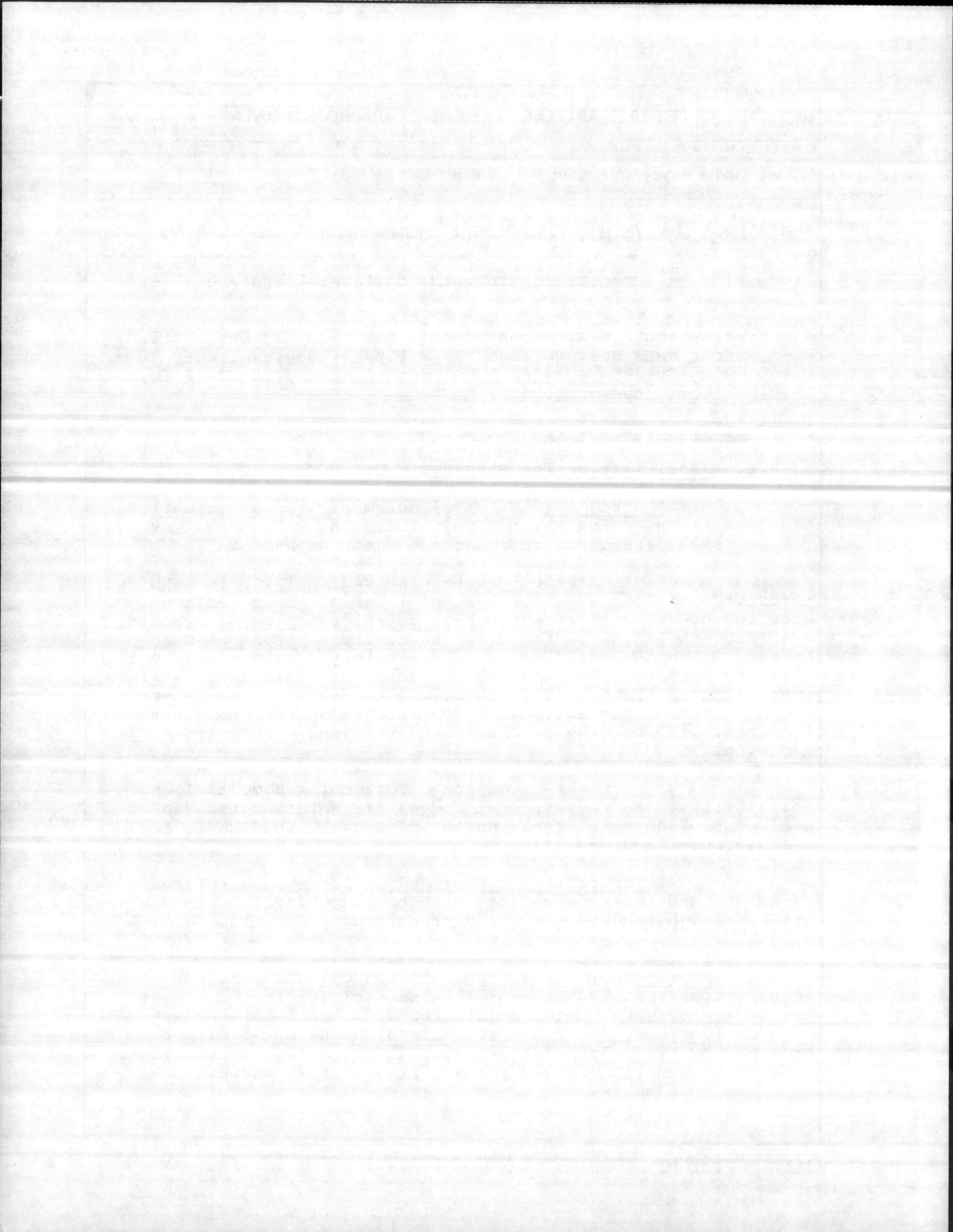
SPECIAL CONSIDERATIONS

1. Pollution Prevention, Abatement, and Control: This project will not cause additional air or water pollution.
2. Flood Hazard Evaluation: Requirements of Executive Order 11988 (Flood Hazards) are not applicable.
3. Environmental Impact: The project Environmental Impact Assessment has been made, reviewed, and where required, the design incorporates consideration to eliminating adverse environmental effects consistent with applicable directives.
4. Fallout Shelter Consideration: Fallout shelter protection is incorporated in the facility.
5. Design for Accessibility of Physically Handicapped Personnel: Provisions for physical handicap of personnel are required in this facility.
6. Use of Air Conditioning: Ceiling "U" factors will be made to conform with DOD 42V.1-10.
7. Preservation of Historical Sites and Structures: The project facility does not directly or indirectly affect historic, architectural, or scientific objects or settings which are listed in the National Register or otherwise possess a significant quality or historic or scientific value.

1. COMPONENT MARINE CORPS	NAF CONSTRUCTION PROGRAM FY 19 ⁹⁰ MILITARY CONSTRUCTION PROJECT DATA	2. DATE 12 May 1986
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, (INCREMENT I) ONSLOW BEACH		5. PROJECT NUMBER P-775
<p style="text-align: center;"><u>FACILITY STUDY</u></p> <p>1. <u>Project:</u> Provide the first increment (24 bedroom units) of a planned three increment Recreational Lodge/Motel with a total of 80 bedroom units. Provide an Administrative building with vending areas, offices, storage etc.</p> <p>2. <u>Current and Planned Future Workload With Regard to this Project:</u> This facility will be utilized 24 hours daily, seven days a week, and the duration of need is indefinite. The proposed units will accommodate enlisted personnel, retirees, and their dependents.</p> <p>3. <u>Description of Construction.</u></p> <p style="padding-left: 40px;">a. <u>Type of Construction:</u> Permanent two story and one story buildings with structural framing, pile foundations, wood siding, carpet, interior support systems and utility connections.</p> <p style="padding-left: 40px;">b. <u>Replacement:</u> This project will replace part of the 23 existing mobile home trailers being utilized as recreational lodges/motel at Onslow Beach.</p> <p style="padding-left: 40px;">c. <u>Description of Work to be Done:</u></p> <p style="padding-left: 80px;">(1) <u>Primary Facility:</u> Recreational Lodge/Motel with pile foundation, structural framing, wood siding; internal spaces consisting of 24 bedroom units with bathrooms, kitchenettes and lounge areas.</p> <p style="padding-left: 80px;">(2) <u>Energy Conservation:</u> Energy efficient equipment and building orientation will be utilized. The design will be responsive to requirements of Executive Order 12003 of 20 July 1977, and implemented by NAVFACINST 4100.5A</p> <p style="padding-left: 80px;">(3) <u>Collateral Equipment:</u> To be provided by separate correspondence.</p> <p style="padding-left: 80px;">(4) <u>Supporting Facilities:</u> Pile foundations, utility connections, site improvements, parking and drives interior systems (i.e. HVAC system, intercom system, fire</p>		



1. COMPONENT MARINE CORPS	NAF CONSTRUCTION PROGRAM FY 19 ⁹⁰ MILITARY CONSTRUCTION PROJECT DATA	2. DATE 12 May 1986
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4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, (INCREMENT I) ONSLOW BEACH	5. PROJECT NUMBER P-775	
protection, kitchenette equipmenmt, collateral equipment, etc.		
4. <u>Cost Estimate:</u> Area cost factor for Camp Lejeune, NC is 0.86. Cost data derived from the Military Construction Cost Review Guide, DOD 4270.1-CG, and escalated to FY-90 for this project. (see encl. (1))		
5. <u>Justification for Project and Scope of Project:</u>		
a. <u>Justification for Project.</u>		
(1) <u>Project:</u> Provide Increment I of a Recreational Lodge/Motel on Onslow Beach. This increment will be set aside for enlisted personnel, retirees and their dependents.		
(2) <u>Requirement:</u> The proposed facility is required to provide an adequate recreational lodge/motel to replace existing house trailers which have deteriorated beyond repair. Onslow Beach is one of the prime recreational areas of Camp Lejeune which is available to approximately 37,400 active duty military personnel and their dependents, plus military retirees, local and transients. The project is the first of a planned three increment recreational lodge/motel. Future subsequent increment will provide a 32 unit addition and a 24 unit addition.		
(3) <u>Current Situation:</u> The mobile home trailers being utilized as recreational lodges are deteriorated and in need of replacement. These units are totally inadequate for recreational lodging.		
(4) <u>Impact if not Provided:</u> Military and retired personnel and their dependents will be compelled to continue utilizing substandard facilities resulting in continued low morale.		
b. <u>Justification for Scope of Project:</u> The project scope (11,334 SF) is the minimum size facility that can meet the first increment requirements for a Recreational Lodge/Motel. An additional 22,722 SF of Recreational Lodge/Motel will be provided by two subsequent projects (FY-91 P-876, Recreational Lodge Increment II (12,984 SF) and FY-92 P-879, Recreational		



1. COMPONENT MARINE CORPS	NAF CONSTRUCTION PROGRAM FY 19 ⁹⁰ MILITARY CONSTRUCTION PROJECT DATA	2. DATE 12 May 1986
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4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, (INCREMENT I) ONSLOW BEACH	5. PROJECT NUMBER P-775	
<p>Lodge, Increment III (9,738 SF)).</p> <p>6. <u>Equipment Provided From Other Appropriations:</u> Not applicable.</p> <p>7. <u>Common Support Facilities:</u> There are no common support facilities in the Onslow Beach area of Camp Lejeune.</p> <p>8. <u>Effect on Other Resources:</u> It is expected that there will be a minimal increase in cost of utilities. Adequate utilities are available within 300 feet of project site.</p> <p>9. <u>Siting of the Project:</u> This facility will be located in the Onslow Beach area, in compliance with the Camp Lejeune Master Plan. (See enclosure (2)).</p> <p>10. <u>Other Graphic Presentations, including Photographs:</u> None.</p> <p>11. <u>Economic Analysis:</u> This project is deemed as the only alternative for providing an adequate Recreational Lodge at Onslow Beach.</p> <p>12. <u>Environmental Impact Assessment:</u> An Environmental Impact Assessment has not been made, however, it is not expected that this project will have a significant impact on the environment.</p> <p>13. <u>Quantitative Data:</u></p> <ul style="list-style-type: none"> a. <u>Unit of Measure:</u> Square Feet. b. <u>Total Requirement:</u> 66,640 Square Feet. The approved Basic Facility Requirement List for category code 740-81 (Recreational Lodge/Motel), is 66,640 SF for the Basewide Miscellaneous Area (KA) of Camp Lejeune. c. <u>Existing Substandard:</u> 26,990 Square Feet. d. <u>Existing Inadequate:</u> 4,716 Square Feet. e. <u>Existing Adequate:</u> 4,060 Square Feet. f. <u>Other Assets, Not in Inventory:</u> 0 Square Feet. 		

100, Inverness III (9,738 sq ft).

Environmental provided from other Appropriations: Not applicable.

7. Common Support Facilities: There are no common support facilities at the Gallow Beach area of Camp Lejeune.

8. Effect on Other Resources: It is expected that there will be a minimal increase in cost of utilities. Adequate utilities are available and of good quality.

9. Siting of the Project: This facility will be located in the Inverness area, in compliance with the Camp Lejeune Master Plan. (See enclosure (2)).

10. Other Graphic Presentations, including photographs: None.

11. Economic Analysis: This project is deemed as the only alternative for providing an adequate Recreational Lodge at Gallow Beach.

12. Environmental Impact Assessment: An Environmental Impact Assessment has not been made; however, it is not expected that the project will have a significant impact on the environment.

13. Quantitative Data:

a. Unit of Measure: Square Feet

b. Total Requirements: 25,740 square feet. This approved Basic Facility Requirement List for category code 743-81 (Recreational Lodge/Hotel) is 25,740 sq ft for the Basewide Miscellaneous Area (XA) of Camp Lejeune.

c. Existing Substandard: 25,000 square feet.

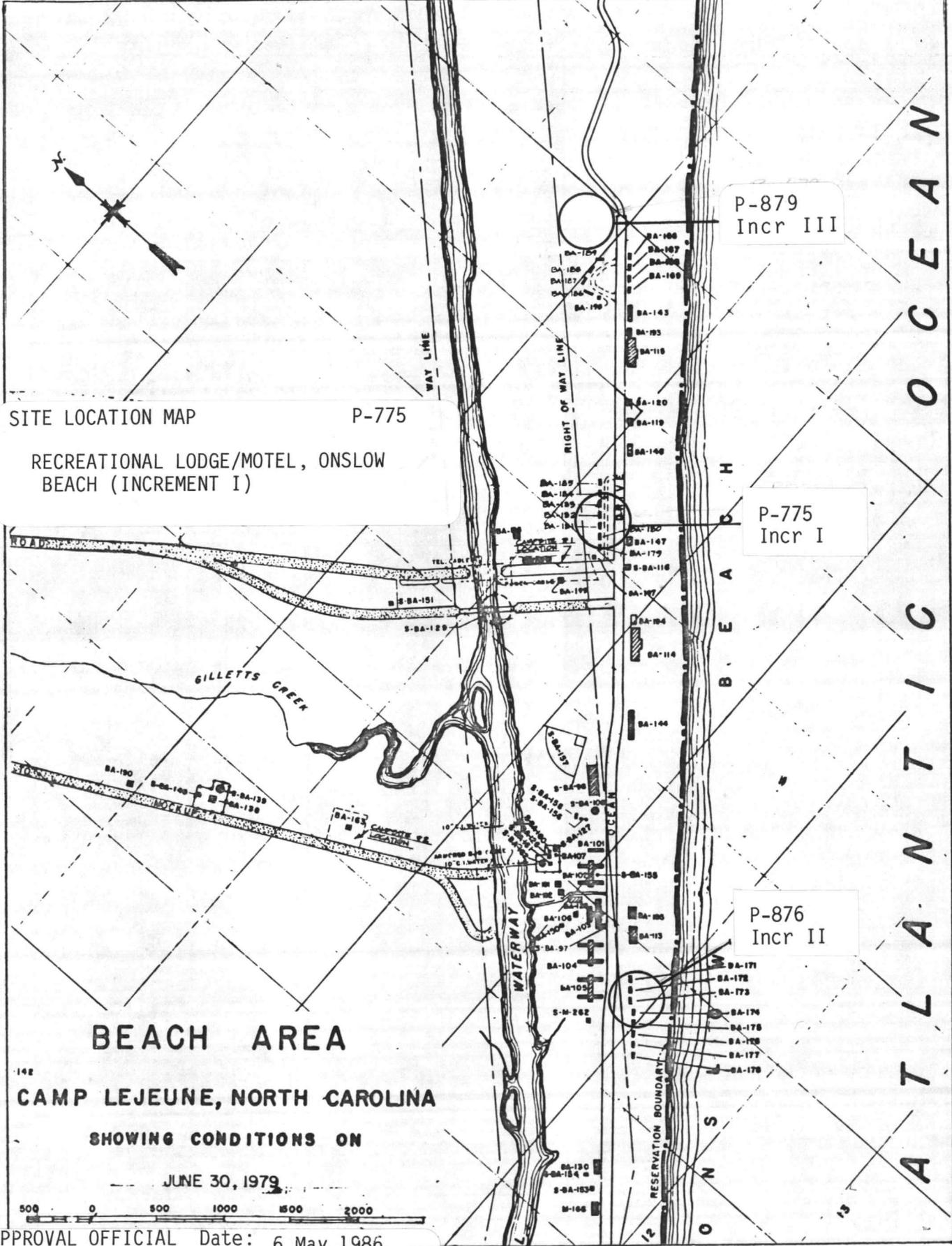
d. Existing Inadequate: 1,716 square feet.

e. Existing Adequate: 4,853 square feet.

f. Total Available: Not in inventory; 0 square feet.

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4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, (INCREMENT I) ONSLOW BEACH	5. PROJECT NUMBER P-775	
<p>g. <u>Funded, not in Inventory:</u> 0 Square Feet.</p> <p>h. <u>Adequate Assets:</u> (e + f + g) = 4,060 Square Feet.</p> <p>i. <u>Deficiency:</u> (b - h) = 62,580 Square Feet.</p> <p>14. <u>Maintenance Facility:</u> Not applicable.</p> <p>15. <u>Morale, Welfare and Recreation Facilities:</u> The approved Basic Facility Requirement of 66,640 SF for category code 740-81 (Recreational Lodge/Motel) is in accordance with DOD Directive 4270.1M, Section 3.8.</p> <p>16. <u>Relocation Facilities:</u> Not applicable.</p> <p>17. <u>Storage Facilities:</u> Not applicable.</p> <p>18. <u>Hazards Identification Assessment and Analysis:</u> Proposed facility will be a Recreational Lodge/Motel. Potential hazardous conditions will be considered during the design phase.</p>		

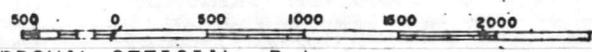
- g. Turnover, not in Inventory: 4 square feet.
- h. Available Assets: $(e + f + g) = 4,000$ square feet.
- i. Deficiency: $(d - h) = 62,580$ square feet.
- 14. Maintenance Facility: Not applicable.
- 15. Basic, Neutral, and Recreation Facility: The approval of Basic Facility Requirement of 20-10-87 for category code 44-81 (Recreational Complexes) is in accordance with DOP procedures.
- 16. Recreation Facility: Not applicable.
- 17. Storage Facility: Not applicable.
- 18. Hazards Identification Assessment and Analysis: Proposed facility will be a Recreational Lodge/Hotel. Potential hazard conditions will be considered during the design phase.



SITE LOCATION MAP P-775
 RECREATIONAL LODGE/MOTEL, ONSLOW BEACH (INCREMENT I)

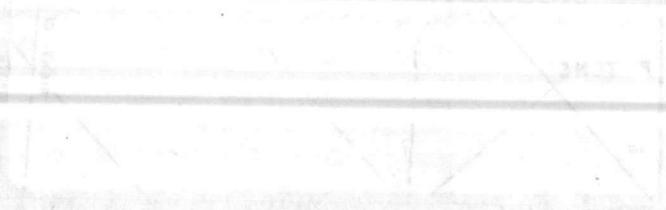
BEACH AREA
 CAMP LEJEUNE, NORTH CAROLINA
 SHOWING CONDITIONS ON

JUNE 30, 1979



APPROVAL OFFICIAL Date: 6 May 1986

R. A. TIEBOUT, By direction



COST ESTIMATE

DATE PREPARED
12 May 1986

SHEET 1 OF 1

ACTIVITY AND LOCATION
MARINE CORPS BASE
CAMP LEJEUNE, NORTH CAROLINA 28542

PROJECT TITLE
RECREATIONAL LODGE/MOTEL (INCREMENT I)
ONSLow BEACH AREA

CONSTRUCTION CONTRACT NO.

ESTIMATED BY
W. L. BRANT

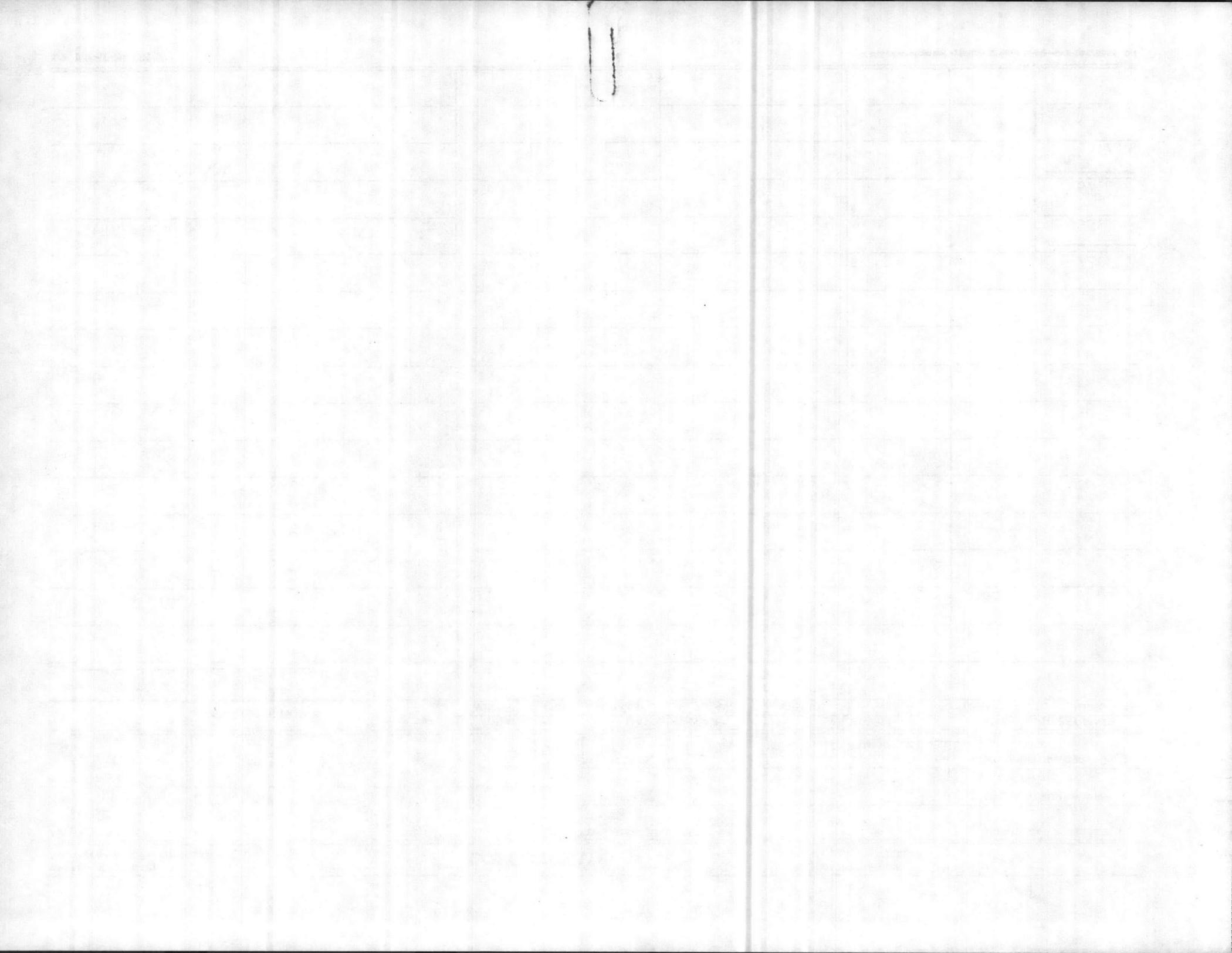
STATUS OF DESIGN
 PED 30% 100% FINAL Other (Specify) Project

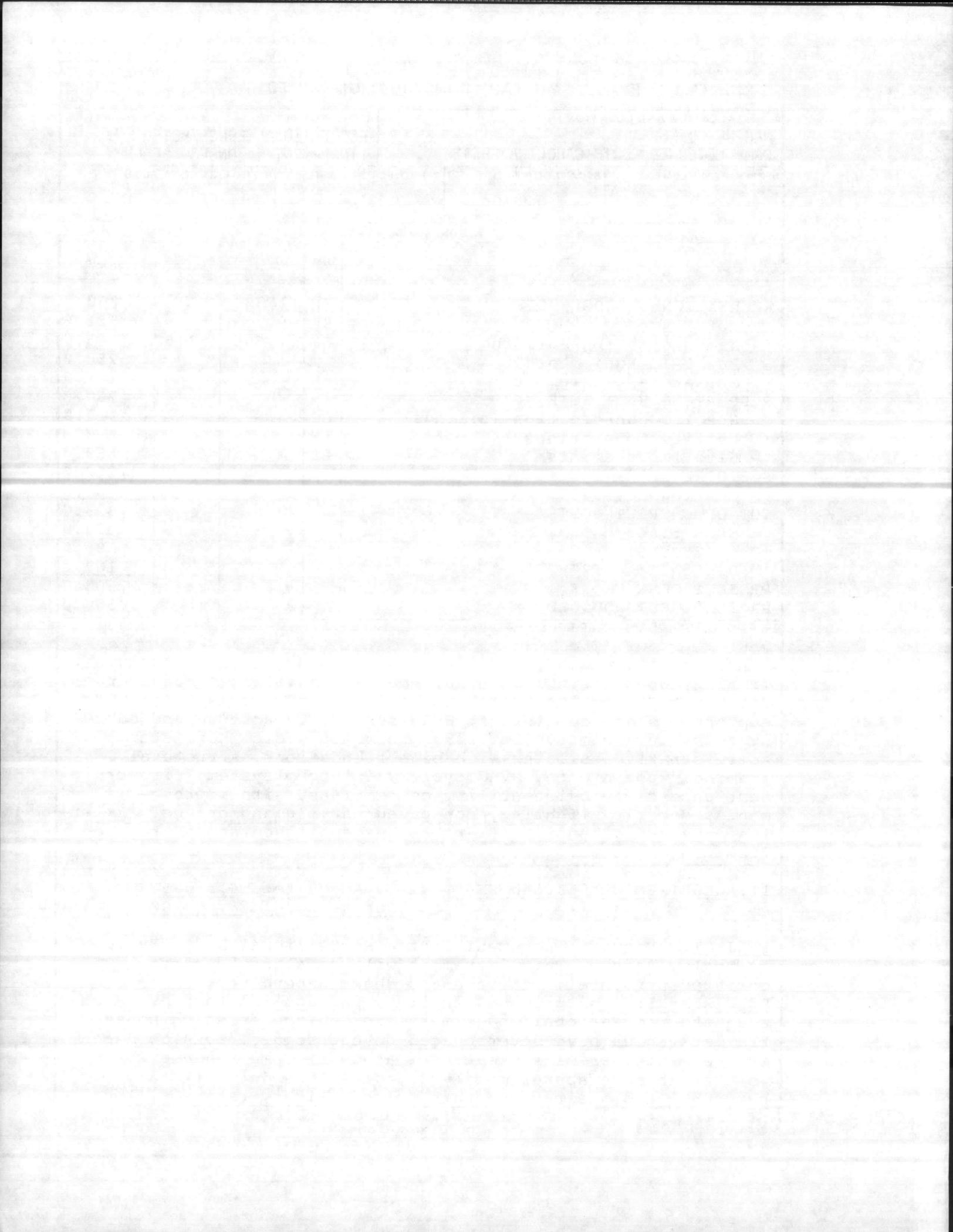
IDENTIFICATION NUMBER
P-775

CATEGORY CODE NUMBER
740-81

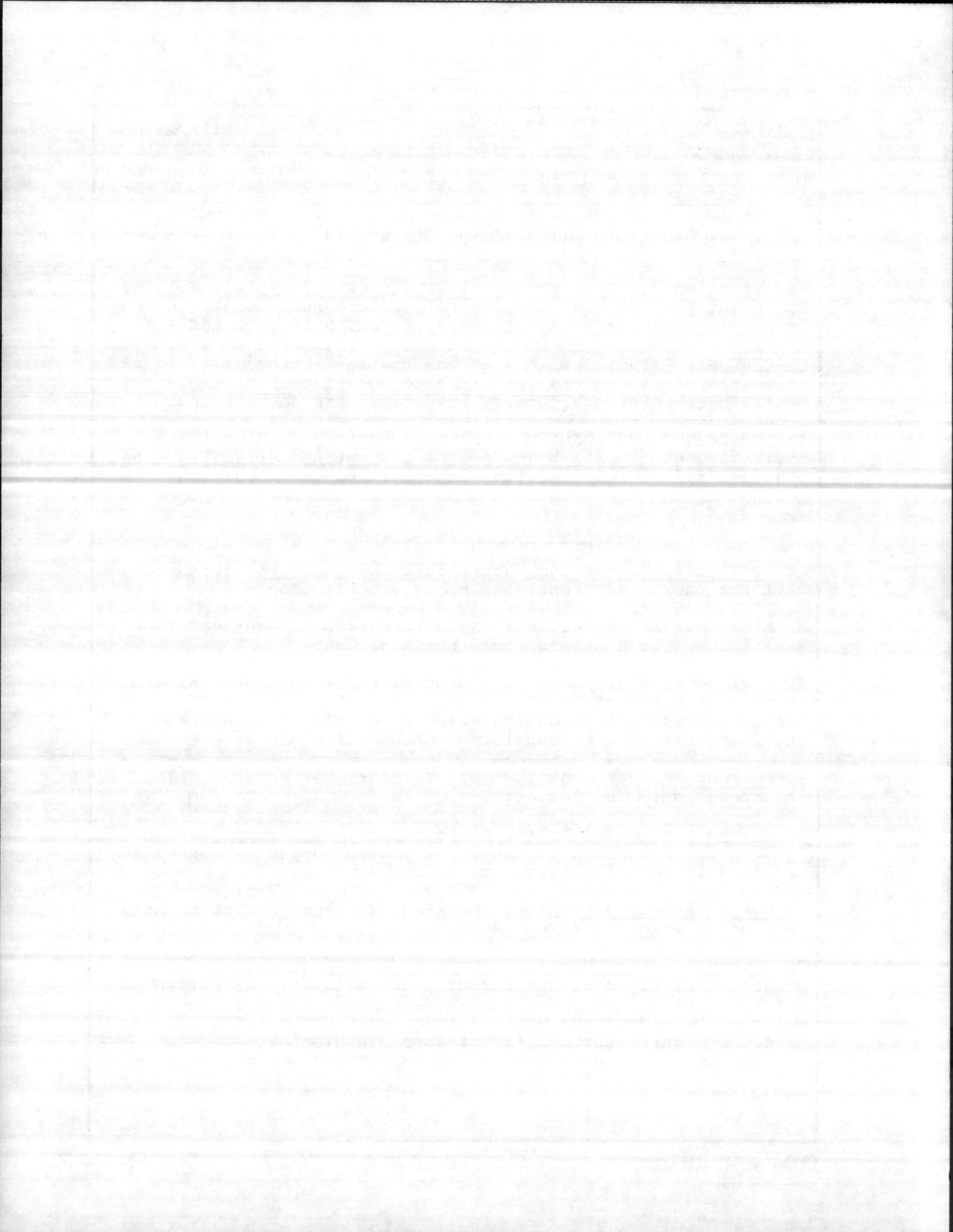
JOB ORDER NUMBER

ITEM DESCRIPTION	QUANTITY		MATERIAL COST		LABOR COST		ENGINEERING ESTIMATE	
	NUMBER	UNIT	UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL
<u>RECREATIONAL LODGE/MOTEL:</u>								
MOTEL (24 Units)	9,738	SF					53.50	520,983
ADMIN BUILDING	1,596	SF					53.50	85,386
BUILT-IN EQUIPMENT								250,000
COLLATERAL EQUIPMENT								144,000
SPECIAL FOUNDATIONS (PILINGS)								110,000
UTILITY CONNECTIONS								90,000
SITE IMPROVMENTS								60,000
SUBTOTAL								1,260,369
CONTINGENCY - 5%								63,018
TOTAL CONTRACT COST								1,323,387
SIQH - 5.5%								72,786
TOTAL REQUEST								1,396,173
DESIGN COST 12%								167,540
PROJECT COST								1,563,713
PROJECT COST (ROUNDED)								1,550,000





1. COMPONENT MARINE CORPS	NAF CONSTRUCTION PROGRAM FY 19 ⁹⁰ MILITARY CONSTRUCTION PROJECT DATA	2. DATE 12 May 1986
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4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, (INCREMENT I) ONSLOW BEACH	5. PROJECT NUMBER P-775	
<p>and transients. This project is the first of a planned three increment Recreational Lodge/Motel. Future subsequent increments will provide a 32 unit addition and a 24 unit addition.</p> <p><u>CURRENT SITUATION:</u> The mobile home trailers being utilized as recreational lodges are deteriorated and in need of replacement. These units are totally inadequate for recreational lodging.</p> <p><u>IMPACT IF NOT PROVIDED:</u> Military and retired personnel and their dependents will be compelled to continue utilizing sub-standard facilities resulting in continued low morale.</p> <p style="text-align: center;"><u>SPECIAL CONSIDERATIONS</u></p> <ol style="list-style-type: none"> 1. <u>Pollution Prevention, Abatement, and Control:</u> This project will not cause additional air or water pollution. 2. <u>Flood Hazard Evaluation:</u> Requirements of Executive Order No. 11296 (Flood Hazards) are not applicable. 3. <u>Environmental Impact:</u> The project Environmental Impact Assessment has been made, reviewed, and where required, the design concepts give consideration to eliminating adverse environmental effects consistent with applicable directives. 4. <u>Fallout Shelter Construction:</u> Fallout shelter protection is incorporated in the facility. 5. <u>Design for Accessibility of Physically Handicapped Personnel:</u> Provisions for physically handicapped personnel are required in this facility. 6. <u>Use of Air Conditioning:</u> Ceiling "U" factors will be made to conform with DOD 4270.1-M. 7. <u>Preservation of Historical Sites and Structures:</u> The project facility does not directly or indirectly affect a district, site, building, structure, object, or setting which is listed in the National Register or otherwise possesses a significant quality of American history. 		



1. COMPONENT MARINE CORPS	NAF CONSTRUCTION PROGRAM FY 19 ⁹⁰ MILITARY CONSTRUCTION PROJECT DATA	2. DATE 12 May 1986
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3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542

4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, (INCREMENT I) ONSLOW BEACH	5. PROJECT NUMBER P-775
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FACILITY STUDY

1. Project: Provide the first increment (24 bedroom units) of a planned three increment Recreational Lodge/Motel with a total of 80 bedroom units. Provide an Administrative building with vending areas, offices, storage etc.

2. Current and Planned Future Workload With Regard to this Project: This facility will be utilized 24 hours daily, seven days a week, and the duration of need is indefinite. The proposed units will accommodate enlisted personnel, retirees, and their dependents.

3. Description of Construction.

a. Type of Construction: Permanent two story and one story buildings with structural framing, pile foundations, wood siding, carpet, interior support systems and utility connections.

b. Replacement: This project will replace part of the 23 existing mobile home trailers being utilized as recreational lodges/motel at Onslow Beach.

c. Description of Work to be Done:

(1) Primary Facility: Recreational Lodge/Motel with pile foundation, structural framing, wood siding; internal spaces consisting of 24 bedroom units with bathrooms, kitchenettes and lounge areas.

(2) Energy Conservation: Energy efficient equipment and building orientation will be utilized. The design will be responsive to requirements of Executive Order 12003 of 20 July 1977, and implemented by NAVFACINST 4100.5A

(3) Collateral Equipment: To be provided by separate correspondence.

(4) Supporting Facilities: Pile foundations, utility connections, site improvements, parking and drives interior systems (i.e. HVAC system, intercom system, fire

FACILITY STUDY

1. Project: Provide the Class increment (24 bedroom units) of a planned three increment Residential Lodge/Jotel with total of 72 bedroom units. Provide an Administrative building with vending areas, offices, storage etc.

2. Current & Planned Use: Planned with 24 bedroom units. This facility will be utilized 24 hours daily, seven days a week, and the duration of need is indefinite. The proposed units will accommodate various recreational activities and their accessories.

3. Description of Construction:

a. Type of Construction: Permanent two story and one story buildings with ing with structural framing, pile foundations, wood siding, carpet, interior support systems and utility connections.

b. Improvements: This project will replace part of the existing mobile home trailers being utilized as recreational lodge/Jotel in Canyon Blvd.

c. Description of Work to be Done:

(1) Primary Facility: Residential Lodge/Jotel with pile foundation, structural framing, wood siding, interior spaces consisting of 24 bedroom units with bathrooms, kitchen-ettes and lounge areas.

(2) Energy Conservation: Energy efficient equipment and building orientation will be utilized. The design will be responsive to requirements of Executive Order 12051 of 20 July 1977 and implemented by NAVFACINST 4100.5A.

(3) Supporting Facilities: To be provided in separate correspondence.

(4) Supporting Facilities: Pile foundations, utility connections, site improvements, parking and drive interior systems (i.e. HVAC system, interior system, fire

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4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, (INCREMENT I) ONSLOW BEACH	5. PROJECT NUMBER P-775	
protection, kitchenette equipmenmt, collateral equipment, etc.		
4. <u>Cost Estimate:</u> Area cost factor for Camp Lejeune, NC is 0.86. Cost data derived from the Military Construction Cost Review Guide, DOD 4270.1-CG, and escalated to FY-90 for this project. (see encl. (1))		
5. <u>Justification for Project and Scope of Project:</u>		
a. <u>Justification for Project.</u>		
(1) <u>Project:</u> Provide Increment I of a Recreational Lodge/Motel on Onslow Beach. This increment will be set aside for enlisted personnel, retirees and their dependents.		
(2) <u>Requirement:</u> The proposed facility is required to provide an adequate recreational lodge/motel to replace existing house trailers which have deteriorated beyond repair. Onslow Beach is one of the prime recreational areas of Camp Lejeune which is available to approximately 37,400 active duty military personnel and their dependents, plus military retirees, local and transients. The project is the first of a planned three increment recreational lodge/motel. Future subsequent increment will provide a 32 unit addition and a 24 unit addition.		
(3) <u>Current Situation:</u> The mobile home trailers being utilized as recreational lodges are deteriorated and in need of replacement. These units are totally inadequate for recreational lodging.		
(4) <u>Impact if not Provided:</u> Military and retired personnel and their dependents will be compelled to continue utilizing substandard facilities resulting in continued low morale.		
b. <u>Justification for Scope of Project:</u> The project scope (11,334 SF) is the minimum size facility that can meet the first increment requirements for a Recreational Lodge/Motel. An additional 22,722 SF of Recreational Lodge/Motel will be provided by two subsequent projects (FY-91 P-876, Recreational Lodge Increment II (12,984 SF) and FY-92 P-879, Recreational		

production, kitchen equipment, collateral equipment, etc.

Cost Estimate: A cost factor for Camp Lejeune, NC is 0.88. Cost data derived from the Military Construction Cost Review Guide, DOD 4278.1-CG, and allocated to NY-01 for this project, (see end, (i)).

2. Justification for Project and Scope of Project:

a. Justification for Project:

(1) Project: Provide improvement of a recreational lodge/motel on Onslow Beach. This improvement will consist of enlisted personnel, retirees and their dependents.

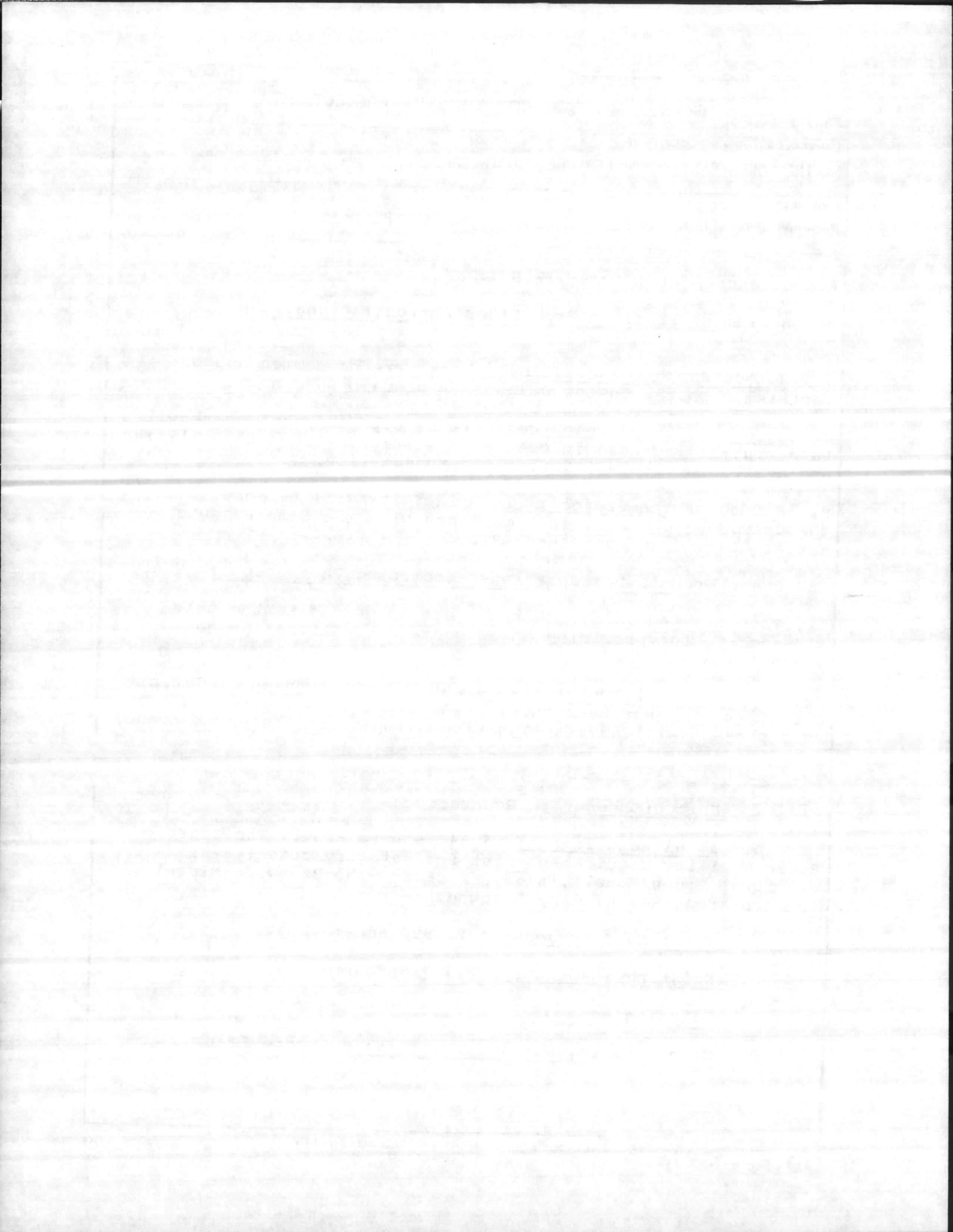
(2) Requirement: The proposed facility is needed to provide an adequate recreational lodge/motel to replace existing house trailers which have deteriorated beyond repair. Onslow Beach is one of the prime recreational areas of Camp Lejeune which is visited by approximately 17,000 active duty military personnel and their dependents. This military facility is local and transient. The beach is the site of a planned three increase recreational lodge/motel. Future subsequent increment will provide 82 unit addition and a 24 unit addition.

(3) Current Situation: The mobile home trailers being utilized as recreational lodges are deteriorated and in need of replacement. These units are totally inadequate for recreational lodging.

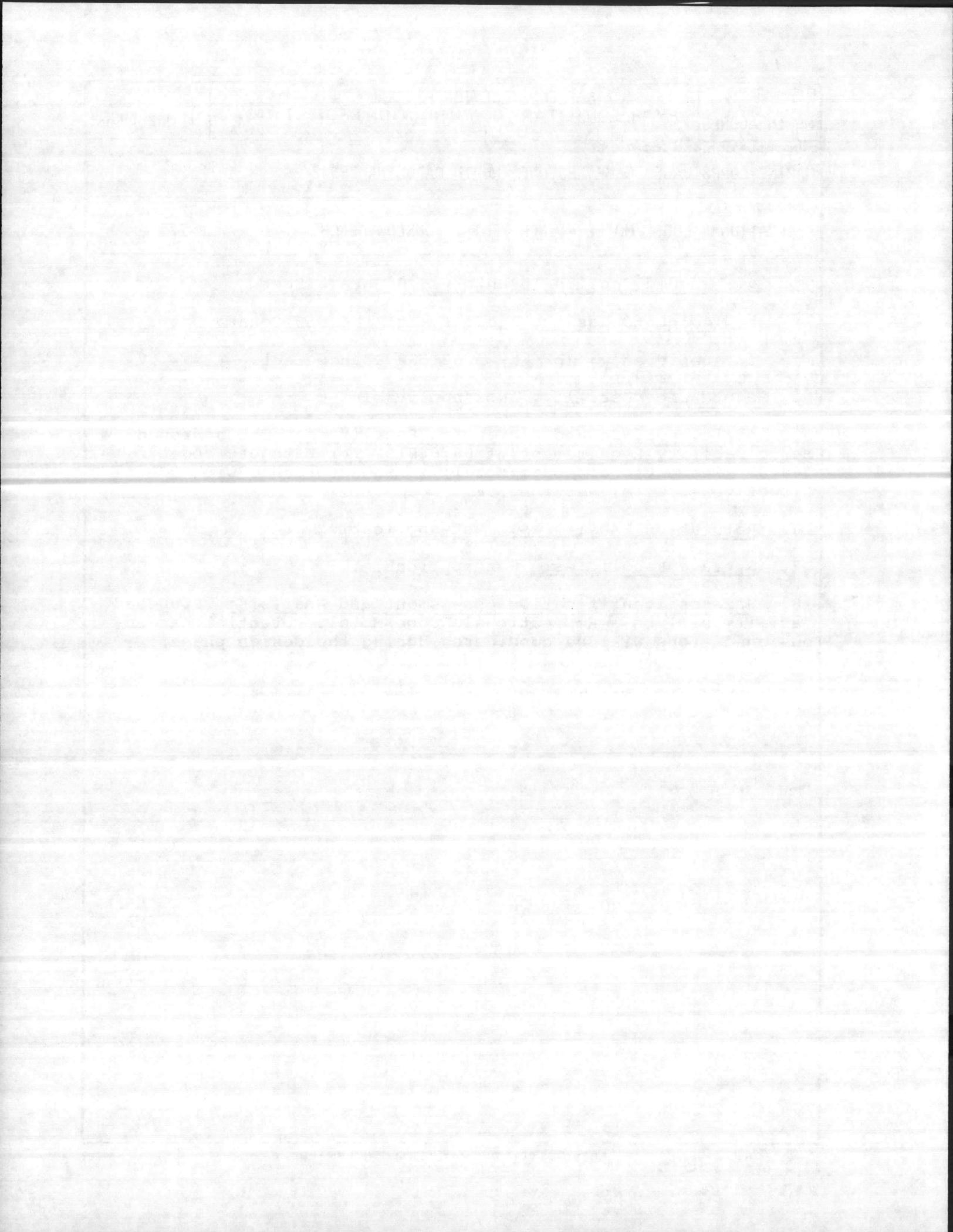
(4) Impact if not provided: Military and retired personnel and their dependents will be compelled to continue utilizing substandard facilities resulting in continued low morale.

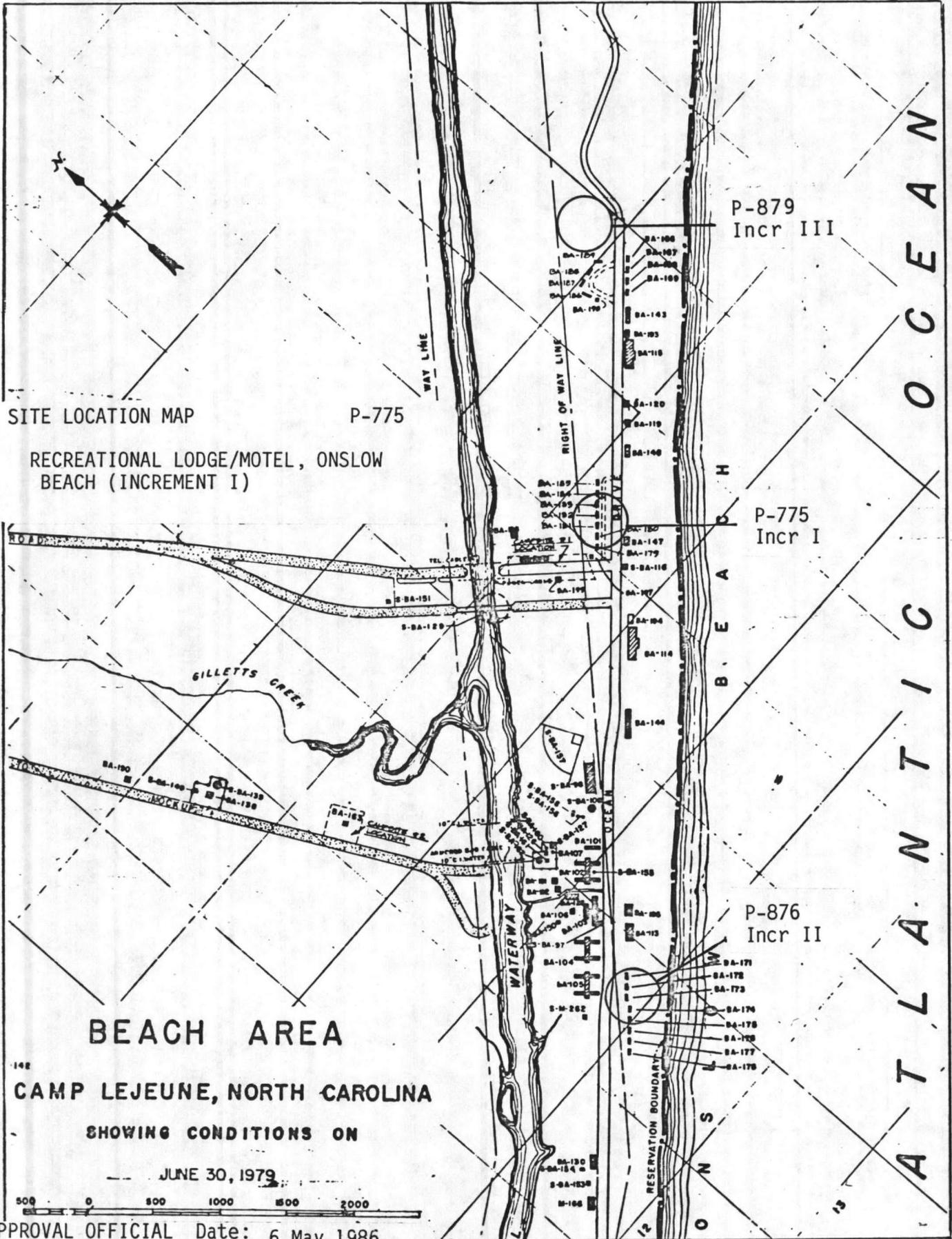
b. Justification for Scope of Project: The project scope (NY-01 88) is the minimum size facility space can meet. The total number of requirements for a recreational lodge/motel is an additional 22,122 SF of recreational lodge/motel will be provided by two other projects (NY-01 P-777, recreational lodge increment II (1,984 22) and NY-01 2-277, recreational

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3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, (INCREMENT I) ONSLOW BEACH	5. PROJECT NUMBER P-775	
<p>Lodge, Increment III (9,738 SF)).</p> <p>6. <u>Equipment Provided From Other Appropriations:</u> Not applicable.</p> <p>7. <u>Common Support Facilities:</u> There are no common support facilities in the Onslow Beach area of Camp Lejeune.</p> <p>8. <u>Effect on Other Resources:</u> It is expected that there will be a minimal increase in cost of utilities. Adequate utilities are available within 300 feet of project site.</p> <p>9. <u>Siting of the Project:</u> This facility will be located in the Onslow Beach area, in compliance with the Camp Lejeune Master Plan. (See enclosure (2)).</p> <p>10. <u>Other Graphic Presentations, including Photographs:</u> None.</p> <p>11. <u>Economic Analysis:</u> This project is deemed as the only alternative for providing an adequate Recreational Lodge at Onslow Beach.</p> <p>12. <u>Environmental Impact Assessment:</u> An Environmental Impact Assessment has not been made, however, it is not expected that this project will have a significant impact on the environment.</p> <p>13. <u>Quantitative Data:</u></p> <ul style="list-style-type: none"> a. <u>Unit of Measure:</u> Square Feet. b. <u>Total Requirement:</u> 66,640 Square Feet. The approved Basic Facility Requirement List for category code 740-81 (Recreational Lodge/Motel), is 66,640 SF for the Basewide Miscellaneous Area (KA) of Camp Lejeune. c. <u>Existing Substandard:</u> 26,990 Square Feet. d. <u>Existing Inadequate:</u> 4,716 Square Feet. e. <u>Existing Adequate:</u> 4,060 Square Feet. f. <u>Other Assets, Not in Inventory:</u> 0 Square Feet. 		



1. COMPONENT MARINE CORPS	NAF CONSTRUCTION PROGRAM FY 19 ⁹⁰ MILITARY CONSTRUCTION PROJECT DATA	2. DATE 12 May 1986
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, (INCREMENT I) ONSLOW BEACH	5. PROJECT NUMBER P-775	
<p>g. <u>Funded, not in Inventory:</u> 0 Square Feet.</p> <p>h. <u>Adequate Assets:</u> (e + f + g) = 4,060 Square Feet.</p> <p>i. <u>Deficiency:</u> (b - h) = 62,580 Square Feet.</p> <p>14. <u>Maintenance Facility:</u> Not applicable.</p> <p>15. <u>Morale, Welfare and Recreation Facilities:</u> The approved Basic Facility Requirement of 66,640 SF for category code 740-81 (Recreational Lodge/Motel) is in accordance with DOD Directive 4270.1M, Section 3.8.</p> <p>16. <u>Relocation Facilities:</u> Not applicable.</p> <p>17. <u>Storage Facilities:</u> Not applicable.</p> <p>18. <u>Hazards Identification Assessment and Analysis:</u> Proposed facility will be a Recreational Lodge/Motel. Potential hazardous conditions will be considered during the design phase.</p>		





SITE LOCATION MAP

P-775

RECREATIONAL LODGE/MOTEL, ONSLOW BEACH (INCREMENT I)

P-879
Incr III

P-775
Incr I

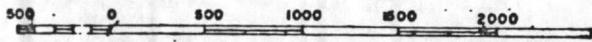
P-876
Incr II

BEACH AREA

CAMP LEJEUNE, NORTH CAROLINA

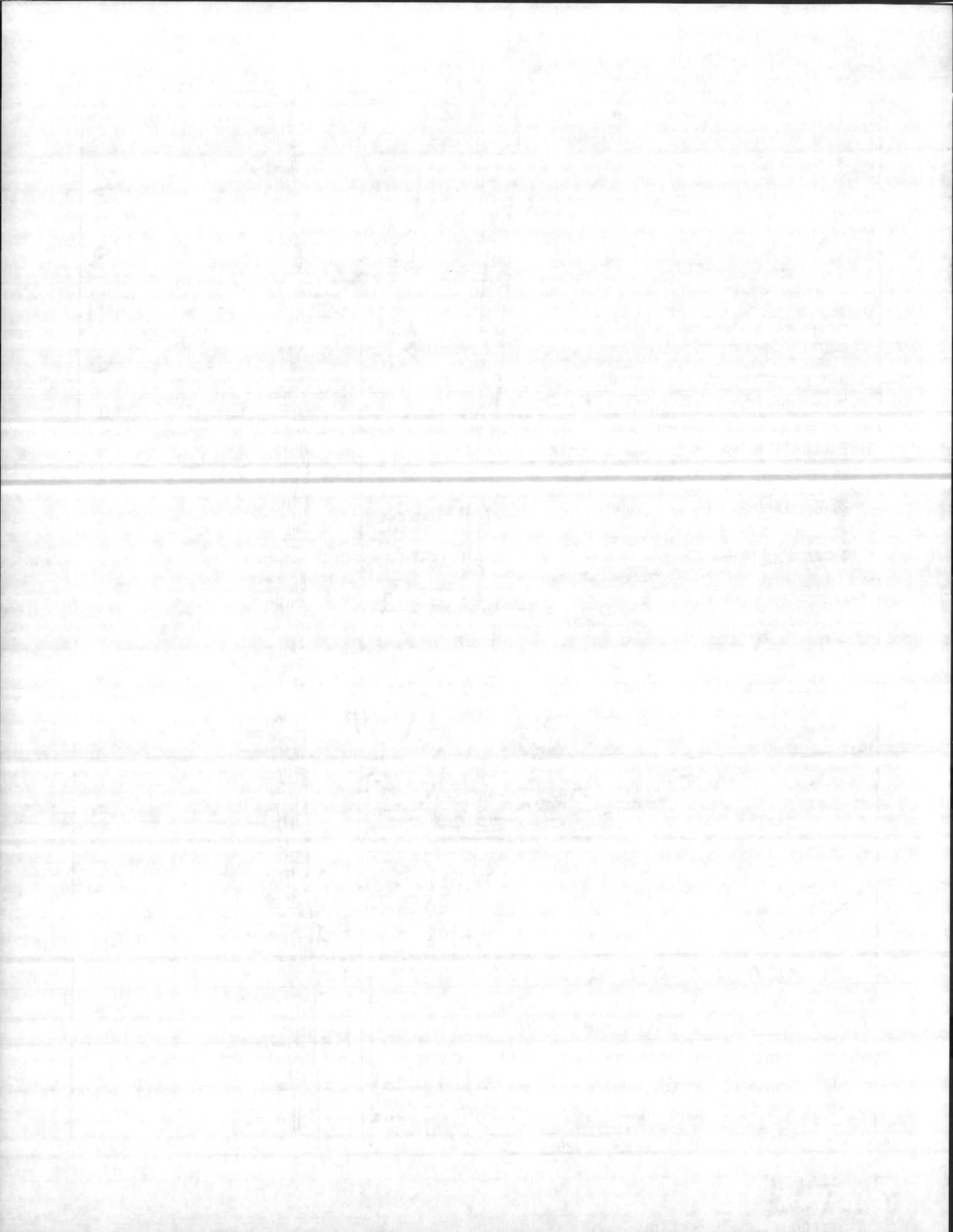
SHOWING CONDITIONS ON

JUNE 30, 1979



APPROVAL OFFICIAL Date: 6 May 1986

R.A. Tiebout
R. A. TIEBOUT, By direction



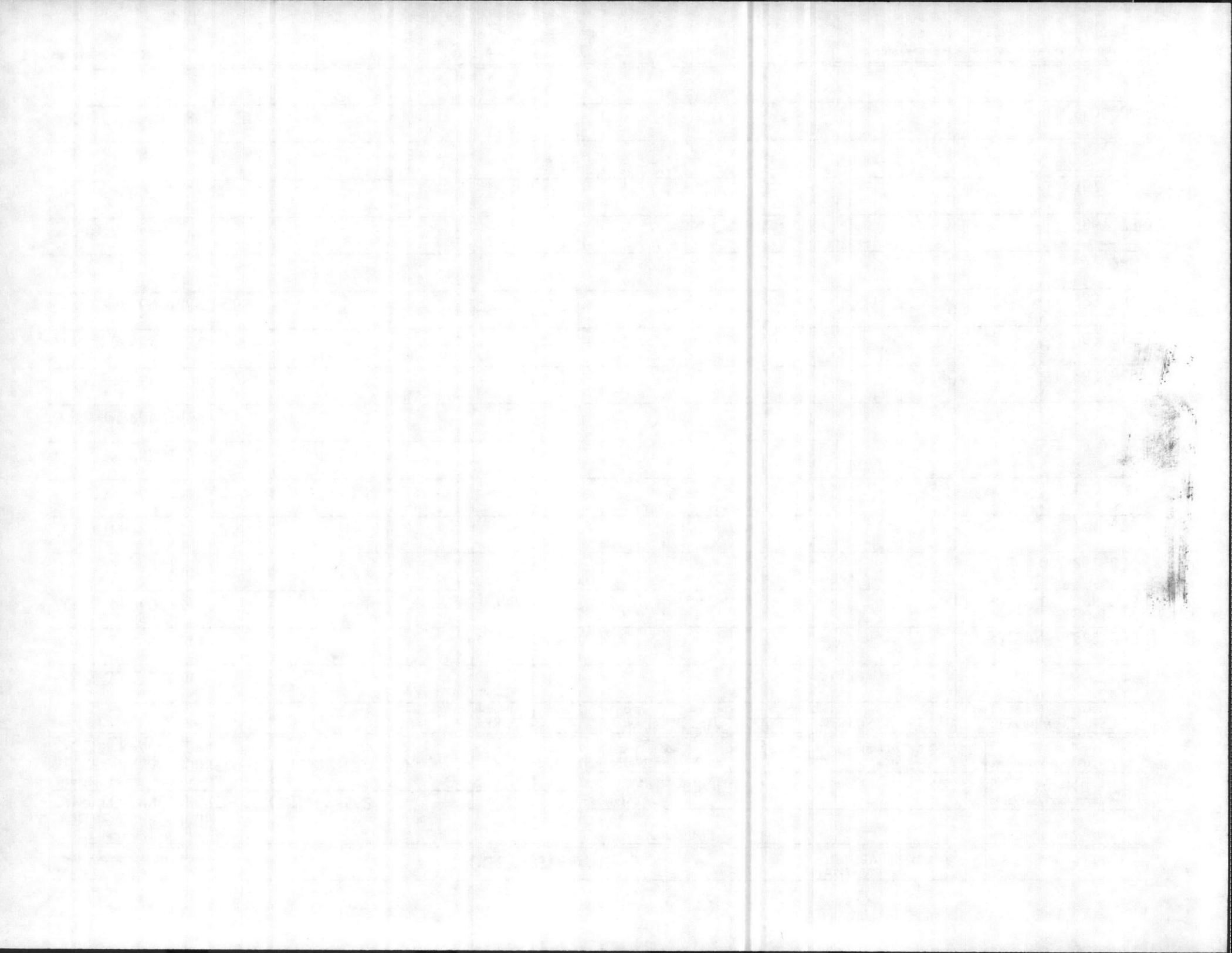
COST ESTIMATE

DATE PREPARED
12 May 1986

SHEET 1 OF 1

ACTIVITY AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542	CONSTRUCTION CONTRACT NO.	IDENTIFICATION NUMBER P-775
	ESTIMATED BY W. L. BRANT	CATEGORY CODE NUMBER 740-81
PROJECT TITLE RECREATIONAL LODGE/MOTEL (INCREMENT 1) ON SLOW BEACH AREA	STATUS OF DESIGN <input type="checkbox"/> PED <input type="checkbox"/> 30% <input type="checkbox"/> 100% <input type="checkbox"/> FINAL <input checked="" type="checkbox"/> Other (Specify) <u>Project</u>	
		JOB ORDER NUMBER

ITEM DESCRIPTION	QUANTITY		MATERIAL COST		LABOR COST		ENGINEERING ESTIMATE	
	NUMBER	UNIT	UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL
<u>RECREATIONAL LODGE/MOTEL:</u>								
MOTEL (24 Units)	9,738	SF					53.50	520,983
ADMIN BUILDING	1,596	SF					53.50	85,386
BUILT-IN EQUIPMENT								250,000
COLLATERAL EQUIPMENT								144,000
SPECIAL FOUNDATIONS (PILINGS)								110,000
UTILITY CONNECTIONS								90,000
SITE IMPROVMENTS								60,000
SUBTOTAL								1,260,369
CONTINGENCY - 5%								63,018
TOTAL CONTRACT COST								1,323,387
SIOH - 5.5%								72,786
TOTAL REQUEST								1,396,173
DESIGN COST 12%								167,540
PROJECT COST								1,563,713
PROJECT COST (ROUNDED)								1,550,000

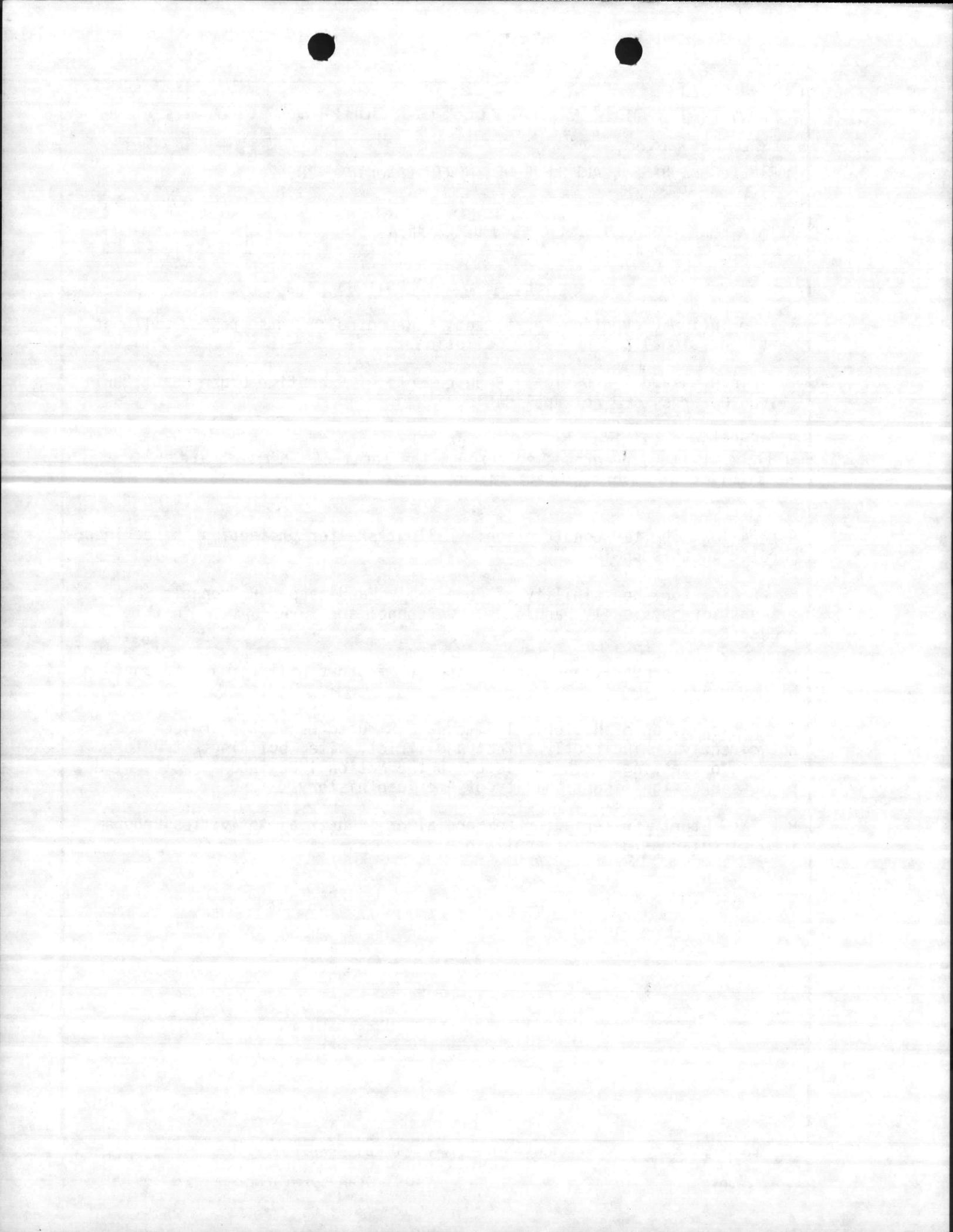


NONAPPROPRIATED FUNDS
RECREATION CONSTRUCTION PROGRAM

1. COMPONENT MARINE CORPS	FY 19 90 MILITARY CONSTRUCTION PROJECT DATA			2. DATE 15 Apr 85
3. INSTALLATION AND LOCATION MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542		4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, ONSLow BEACH AREA		
5. PROGRAM ELEMENT	6. CATEGORY CODE 740-81	7. PROJECT NUMBER P-775	8. PROJECT COST (\$000) 4,300	
9. COST ESTIMATES				
ESCALATED TO APRIL 1990				
ITEM	U/M	QUANTITY	UNIT COST	COST (\$000)
RECREATIONAL LODGE/MOTEL	SF	34,056	67.80	3,186
MOTEL UNITS	SF	32,460	51.02	(2,285)
ADMINISTRATIVE BLDG	SF	1,596	50.75	(112)
BUILT-IN EQUIPMENT	LS	-	-	(717)
SOLAR HOT WATER SYSTEM	LS	-	-	(72)
SUPPORTING FACILITIES	LS	-	-	460
SPECIAL CONSTRUCTION FEATURES	LS	-	-	(125)
UTILITIES	LS	-	-	(167)
SITE IMPROVEMENTS	LS	-	-	(168)
SUBTOTAL	LS	-	-	3,646
CONTINGENCY - 5%	LS	-	-	182
TOTAL CONTRACT COST	LS	-	-	3,828
SUPERVISION, INSPECTION & OVERHEAD - 5.5%	LS	-	-	211
TOTAL REQUEST	LS	-	-	4,039
EQUIPMENT PROVIDED FROM OTHER APPROPRIATIONS	-	-	-	-
A&E SERVICE (6%)	LS	-	-	242
PROJECT COST (ROUNDED)	LS	-	-	4,300
10. DESCRIPTION OF PROPOSED CONSTRUCTION				
<p>Two-story frame buildings, wood siding, pile foundations, bedroom units with bathroom, kitchenette and lounge area. One-story frame building, wood siding, pile foundation Administrative Building. Provide all required exterior/interior utilities, site improvements and demolition.</p>				
11. REQUIREMENTS: <u>66,640</u> SF, Adequate: <u>0</u> SF, Substandard: <u>32,584</u> SF				
<p><u>PROJECT:</u> Provide a multi-unit recreational lodge/motel with administrative office on Onslow Beach. (Total of 80 units divided into three buildings.)</p> <p><u>REQUIREMENTS:</u> A facility is needed to replace 23 mobile home trailers and other substandard facilities being utilized as recreational lodges.</p> <p><u>CURRENT SITUATION:</u> The mobile home trailers are deteriorated and rusted out and the other facilities are in need of repair.</p> <p><u>IMPACT IF NOT PROVIDED:</u> Military and retired personnel and their dependents will be compelled to continue utilizing substandard facilities resulting in continued low morale.</p>				

EGJ

1. COMPONENT MARINE CORPS	FY 19 90 ⁹ MILITARY CONSTRUCTION PROJECT DATA	2. DATE 15 Apr 85
3. INSTALLATION AND LOCATION MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542		
4. PROJECT TITLE RECREATIONAL LODGE/MOTEL, ONSLOW BEACH AREA	5. PROJECT NUMBER P-775	
<p style="text-align: center;"><u>SPECIAL CONSIDERATIONS</u></p> <ol style="list-style-type: none"> 1. <u>Pollution Prevention, Abatement, and Control</u>: This project will not cause additional air or water pollution. 2. <u>Flood Hazard Evaluation</u>: Requirements of Executive Order No. 11296 (Flood Hazards) are not applicable. 3. <u>Environmental Impact</u>: The project Environmental Impact Assessment will be written and processed through the local EIA Review Board. No significant adverse impact is anticipated. 4. <u>Fallout Shelter Construction</u>: Fallout shelter protection is not incorporated in this project. 5. <u>Design for Accessibility of Physically Handicapped Personnel</u>: Provisions for physically handicapped personnel are incorporated in this project. 6. <u>Use of Air Conditioning</u>: Ceiling "U" factors will be made to conform WITH DOD 4270.1-M. 7. <u>Preservation of Historical Sites and Structures</u>: This project does not directly or indirectly affect a district, site, building, structure, object, or setting which is listed in the National Register or otherwise possesses a significant quality of American history. 8. <u>"New Start" Criteria for Commercial or Industrial Activities Program (OMB Circular A-76)</u>: Not applicable. 		



1. COMPONENT

FY 1990 MILITARY CONSTRUCTION PROJECT DATA

2. DATE

15 Apr 85

MARINE CORPS

3. INSTALLATION AND LOCATION

MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542

4. PROJECT TITLE

RECREATIONAL LODGE/MOTEL
ON SLOW BEACH AREA

5. PROJECT NUMBER

P-775

FACILITY STUDY

1. PROJECT: Provide a 34,056 SF, multi-unit recreational lodge/motel/admin complex complete with vending space, interior/exterior utilities, special construction features, and site improvements.

2. CURRENT AND PLANNED FUTURE WORKLOAD WITH REGARDS TO THIS PROJECT: The facility will be utilized 24 hours daily, seven days a week and the duration of need is indefinite. The proposed units will accommodate military, retired personnel and dependents.

3. DESCRIPTION OF PROPOSED CONSTRUCTION:

a. Type of Construction:

(1) Permanent two-story wood frame building, wood siding, carpet, pile foundation, built-up roof, insulation, interior utilities and appliances.

(2) Lighting, exterior utilities, site improvements, etc.

b. Replacements: This project will replace Trailers (BA-189), (BA-188), (BA-186), (BA-184), (BA-183), (BA-181), and (BA-180). The trailers were put on site in 1972 and 1973 and are in poor condition, deteriorated and rusted out.

c. Description of Work to be Done:

(1) Primary Facility: Two-story wood frame building on pile foundation.

(a) Support Facilities: Lighting, utilities and site improvement.

(2) Energy Conservation: Energy efficient equipment and building orientation for maximum energy conservation will be used.

(3) Collateral Equipment:

(a) Built-in: Project Funded:

Air conditioning, heating and ventilating systems.
Plumbing.

Telephone, fire alarm, sprinkler, TV and intercom systems.
Drinking water coolers, metal frames with windows and window screens.

Kitchenette, counter top with stove, sink and refrigerator (built-in).

1. COMPONENT

FY 19⁹⁰ MILITARY CONSTRUCTION PROJECT DATA

2. DATE

15 Apr 85

MARINE CORPS

3. INSTALLATION AND LOCATION

MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542

4. PROJECT TITLE

RECREATIONAL LODGE/MOTEL
ON SLOW BEACH AREA

5. PROJECT NUMBER

P-775

(b) Expense Item: To be purchased using NAF appropriations.

(4) Supporting Facilities: Special piling, foundation, solar hot water system, collateral equipment, site improvement, pollution abatement, etc. The following trailers will be demolished and/or removed from the construction site area.

<u>BLDG NO.</u>	<u>CONSTR.</u>	<u>TYPE CONSTR.</u>	<u>SF</u>	<u>COND.</u>	<u>USE</u>
BA-180	1972	T	648	SS	Rec Lodge
BA-181	1972	T	648	SS	Rec Lodge
BA-183	1972	T	648	SS	Rec Lodge
BA-184	1972	T	648	SS	Rec Lodge
BA-186	1972	T	648	SS	Rec Lodge
BA-188	1972	T	720	SS	Rec Lodge
BA-189	1972	T	720	SS	Rec Lodge

4. COST ESTIMATE: Area cost factor for Camp Lejeune, NC, is 0.95. Cost data derived from the Military Construction Cost Review Guide, FY-82 (DOD 4270.1-CG), and escalated to FY-90 to provide for this proposed facility.

5. JUSTIFICATION FOR PROJECT AND FOR SCOPE OF PROJECT:a. Justification for Project:

(1) Project: Proposed facility is required to provide an adequate recreational lodge/motel to replace house trailers which have deteriorated beyond economical repair.

(2) Current Situation: Personnel are staying in substandard house trailer facilities which are totally inadequate for recreational needs.

(3) Impact if Not Provided: Personnel will continue to utilize substandard and makeshift facilities, resulting in low morale from spending vacation time in the deteriorated recreational facilities (trailers).

b. Justification for Scope of Project: The project scope (34,056) is the minimum size facility that can meet the deficiency requirement for the recreational lodge/motel needs of the Base. (See item 13.)

6. EQUIPMENT PROVIDED FROM OTHER APPROPRIATIONS: Not applicable.7. COMMON SUPPORT FACILITIES: Not applicable.

DATE

PROJECT DATA

PROJECT NO.

DATE

PROJECT DATA

PROJECT NO.

1. COMPONENT

MARINE CORPS

FY 1990 MILITARY CONSTRUCTION PROJECT DATA

2. DATE

15 Apr 85

3. INSTALLATION AND LOCATION

MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542

4. PROJECT TITLE

RECREATIONAL LODGE/MOTEL
ONSLow BEACH AREA

5. PROJECT NUMBER

P-775

8. EFFECT ON OTHER RESOURCES: The project will require approximately \$8,497 per year in increased O&MMC funds for increased utility services and operations. No additional personnel will be required to operate this facility. The project will enhance and improve the morale of personnel presently using existing substandard facilities. Proposed construction should be responsive to the challenges presented by the energy situation and comply with the requirements of Executive Order 12003 of 20 July 1977 and implemented by NAVFACINST 4100.5A.

UTILITY REQUIREMENTS

- | | | | |
|----------------|--|-----------|---------|
| a. Electricity | Consumption | 83,819 | KWHR/yr |
| | Peak Demand | 52 | KW |
| | Average Demand | 48 | KW |
| b. Steam | Consumption | 3,759,752 | Lbs/Yr |
| | Demand | 1,346 | Lbs/Hr |
| c. Coal | | 146.8 | Tons/Yr |
| d. | Adequate utility requirements are available. | | |

9. SITING OF THE PROJECT: This facility will be located in the Onslow Beach area in compliance with the Camp Lejeune Master Plan. (See Encl (1).)

10. OTHER GRAPHIC PRESENTATIONS, INCLUDING PHOTOGRAPHS: None.

11. ECONOMIC ANALYSIS: This facility is being constructed on an undeveloped site adjacent to a developed area. Economic savings will be in nominal energy consumption savings to be realized from efficient operations. This is a nonappropriated fund project in support of providing adequate recreational facilities for personnel morale and recreation.

12. ENVIRONMENTAL IMPACT ASSESSMENT: An environmental impact assessment will be written and processed through the local EIA Review Board. No significant adverse impact is anticipated.

13. QUANTITATIVE DATA:

a. BFRL Requirements: Basewide miscellaneous is 66,640 SF. NAVFAC P-80 provides for space authorized based on number of personnel using facility and limitation on occupancy of the recreation area determined by its physical and recreational characteristics. There are no definitive drawings given in NAVFAC P-272 for Category Code 740-81.

DATE

PROJECT INFORMATION PROJECT DATA

PROJECT NUMBER

1. COMPONENT	FY 19 90 MILITARY CONSTRUCTION PROJECT DATA	2. DATE
MARINE CORPS		15 Apr 85

3. INSTALLATION AND LOCATION
MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542

4. PROJECT TITLE	5. PROJECT NUMBER
RECREATIONAL LODGE/MOTEL ON SLOW BEACH AREA	P-775

b. Existing Facilities:

<u>BLDG NO.</u>	<u>AREA SF</u>	<u>COND CODE</u>	<u>REMARKS</u>
BA-180	648	Inad*	To be demolished (Trailer House)
BA-181	648	Inad*	To be demolished (Trailer House)
BA-183	648	Inad*	To be demolished (Trailer House)
BA-184	648	Inad*	To be demolished (Trailer House)
BA-186	648	Inad*	To be demolished (Trailer House)
BA-188	720	Inad*	To be demolished (Trailer House)
BA-189	720	Inad*	To be demolished (Trailer House)
	5,784	Inadequate*	
BA-114	19,324	SS	To be upgraded with local NAF funds
BA-119	1,596	SS	To be upgraded with local NAF funds
BA-120	1,232	SS	To be upgraded with local NAF funds
BA-143	1,536	SS	To be upgraded with local NAF funds
BA-144	3,152	SS	To be upgraded with local NAF funds
BA-146	1,232	SS*	To be upgraded with local NAF funds
BA-147	772	SS	To be upgraded with local NAF funds
SBA-142	3,740	SS*	To be upgraded with local NAF funds
	32,584	Substandard*	

*Facility is reflected as adequate in NAVFAC 10651 dated 24 April 1984 which is a misnomer and will be corrected on next document update.

c. Planned Facilities:

<u>Project No.</u>	<u>Area SF</u>
P-775	34,056

d. Summary:

Existing Adequate Facilities:	0
Planned Facilities:	34,056
Total Planned & Existing:	34,056
BFRL Total:	66,640

14. FUNDING: Funding will be from the Non-Appropriated Fund, Central Construction Fund, HQMC. Non-Contractor installed equipment is not a part of this project and will be funded by appropriated funds.

STATE

ATAG 0100N 10700E 2000 1000

NO. 1234567